



online

FARMERS BRANCH

ORDINANCE NUMBER 2574

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, BY GRANTING A SPECIFIC USE PERMIT TO ALLOW FOR THE REMOVAL OF EXISTING GASOLINE SERVICE STATION FACILITIES AND CONSTRUCT A NEW GASOLINE SERVICE STATION INCLUDING CONVENIENCE STORE AND CAR WASH FACILITIES, LOCATED AT 2360 VALWOOD PARKWAY AND WITHIN THE PLANNED DEVELOPMENT NUMBER 70 (PD-70 OFB-FW) ZONING DISTRICT; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS; PROVIDING FOR INJUNCTIVE RELIEF; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Farmers Branch deems it necessary, for the purpose of promoting the health, safety, morals, or general welfare of the City to enact a new zoning ordinance; and

WHEREAS, the City Council has appointed a Planning and Zoning Commission to recommend the boundaries of the various original zoning districts and appropriate regulations be enforced therein and to recommend a new zoning ordinance to amend the Comprehensive Zoning Ordinance; and

WHEREAS, the Planning and Zoning Commission has divided the City into districts and has prepared regulations pertaining to such districts in accordance with a comprehensive plan and designed to lessen congestion in the streets; to secure safety from fire, panic, and other dangers; to promote health, general welfare; to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population; to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements; and

WHEREAS, the Planning and Zoning Commission, has given reasonable consideration, among other things, the character of the districts and their peculiar suitability for particular uses, with a view to conserving the value of buildings and encouraging the most appropriate use of land throughout the City

WHEREAS, the City Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the Charter of the City of Farmers Branch, and the state law with reference to the granting of changes to the zoning classifications under the Zoning Ordinance Regulations and Zoning Map, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair

hearing to all property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the governing body of the City of Farmers Branch is of the opinion that due to a change in condition and in order to protect the public health, welfare and safety, said change in zoning should be made;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, be, and the same is hereby amended, by amending the Zoning Map of the City of Farmers Branch so as to grant a Specific Use Permit for the removal of existing gasoline service station facilities and construct a new gasoline service station including convenience store and car wash facilities, located at 2360 Valwood Parkway.

SECTION 2. That the new gasoline service station including convenience store and car wash facilities shall be constructed, located, and operated in accordance with the approved site plan attached as Exhibit "A," including the following conditions:

1. The gasoline service station including convenience store and car wash facilities shall comply with the Plan of Operation, file-dated October 2, 2000.
2. The applicant shall install an 8-inch water line along the IH-35E frontage road from the existing 8-inch water line near Valwood Parkway, southward to the north side of the access drive approach from IH-35E frontage road, and relocate the proposed fire hydrant within 3-ft. to 6ft. of the pavement on the north side of said access drive approach.

SECTION 3. If any section, paragraph, subdivision, clause, phrase or provision of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as a whole or any portion thereof other than that portion so decided to be invalid or unconstitutional.

SECTION 4. In addition to and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

SECTION 5. This ordinance shall take effect immediately from and after its passage as the law in such case provides.

DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, on
this the 16 day of October, 2000.

APPROVED:



Mayor *Pro Tem*

ATTEST:



City Secretary

APPROVED AS TO FORM:



City Attorney

Buddy's Food Mart

2360 Valwood Parkway
Farmers Branch, Texas
Lot 1, Block 1, Daltex Addition

Property Owner : Triple A Oil Co., Inc.
 12342 Inwood Road
 Dallas, Texas 75244
 972-503-3333

Architect : RQ Design, Inc.
 Suite 105
 2233 Avenue J
 Arlington, Texas 76006
 817-640-8540

Civil Engineer : Ken Morrison & Associates
 10735 Black Walnut
 Dallas, Texas 75207
 972-690-9858

Landscape Design : RQ Design, Inc.
 Suite 105
 2233 Avenue J
 Arlington, Texas 76006
 817-640-8540

Accessibility for the Physically Disabled

1. This Project shall comply with the provisions of Texas Accessibility Standards (TAS) and the Americans with Disabilities Act (ADA) where dimensions indicated or products specified herein do not comply with guidelines, notify Architect in writing prior to ordering item in question or constructing the affected assembly. Obtain clarification as to what items will change. Adjust as directed. It is the Contractor's responsibility to verify and to comply with TAS and ADA requirements current as of the date of constructing this project.
2. Compliance Shall include, but not be limited to the following:
 - A. At least one Primary entrance and all required exits to the building shall be accessible to individuals in wheelchairs.
 - B. An accessible route within the site from public streets and sidewalks, and accessible parking spaces to an accessible building entrance.
 - C. An accessible route to connect accessible buildings, accessible facilities accessible elements and accessible spaces on the same site.
 - D. Accessible parking spaces complying with sizes and allowable slopes configured and installed in order to be accessible to individuals with disabilities.
 - E. Building and site signage indicating accessible entrances when all are not accessible and serving spaces designated as reserved for individuals with disabilities.
 - F. All doors to accessible spaces, entrances and walls shall have a clear width when fully opened of 32 inches. Thresholds at public exterior doors required to be accessible shall be no higher than 3/4 inches.
 - G. At least one Primary entrance and all required exits to the building shall be accessible to individuals in wheelchairs.
 - H. All switches and controls for lights, HVAC equipment, fire alarms etc. shall be 48-inches maximum above floor level unless noted otherwise.
 - I. All electrical outlets used for convenience outlets shall be 15-inches minimum above floor level unless noted otherwise.
 - J. Toilet room facilities and accessories shall be configured and installed in order to be accessible to individuals in wheelchairs.
 - K. Drinking fountains shall be installed to be accessible to both individuals in wheelchairs and for those with trouble bending over.
 - L. Grab bars showering equipment shall be configured and installed in order to be accessible to individuals in wheelchairs.
3. Contractor and Owner shall ensure compliance with Texas Accessibility Standards (TAS) and Americans with Disabilities Act (ADA) for all items indicated "Not in Contract" and/or items which are to be provided by Owner, Tenant or Contractor under separate contract.
4. Accessible ramps and routes shall be provided as required by the City of Dallas ADA / or Texas Accessibility Standards (TAS) and shall comply with current City and TAS criteria and specifications. Contractor shall verify current requirements and comply.
5. Maximum grade along accessible route pavements shall be 1:20 (vert to horiz) unless a ramp in conformance with TAS requirements is provided. Steps do not provide an accessible route per TAS 4.5.2.

Legal Description

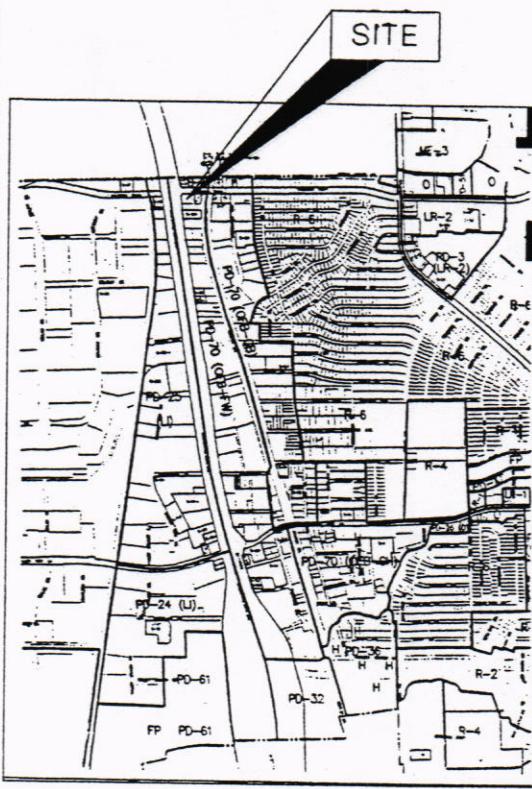
BEING LOT 1, BLOCK 1, OF DALTEX ADDITION, AN ADDITION TO THE CITY OF FARMERS BRANCH, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN VOLUME 529, PAGE 2051, MAP RECORDS OF DALLAS COUNTY, TEXAS.

Ordinance 2574
Exhibit 'A'

Sheet 1 of 25

3C

Location Map



UTILITY SYMBOL LEGEND

PP	Power Pole
GW	Guy Wire
MH	Manhole
WV	Water Valve
TP	Telephone Pedestal
WM	Water Meter
FH	Fire Hydrant
LP	Light Pole
IV	Irrigation Valve
CO	Clean Out
AC	Air Conditioner
TV	Cast Box
SB	Signal Box
SP	Signal Pole
SN	Sign
IRF	Iron Rod Found
IRS	Iron Rod Set
SS	Sanitary Sewer
SW	Storm Sewer
TS	Traffic Sign
TSK	Traffic Sign
MB	Mailbox
EB	Electric Box
Bol.	Bollard
Col.	Column
TF	Transformer
GM	Gas Meter
△	Control Monument
FP	Flag Pole

Abbreviations and Definitions

AAHU	air handling unit
AP	access panel
ABV	above
AF.F.	above finish floor
AF.C.	air conditioning(plier)
ADJ.	adjustable
ALUM.	aluminum
B.C.	brick course
BD.	board
BUS'G	bushing
C.	conduit
C.J.	control joint
C.O.	cleanout
Ceiling	ceiling
CLR	clear
COL	column
COMP.	composition
CONC.	concrete
CONT.	continuous
COORD.	coordinate
CPT	carpet
CT.	ceramic tile
CTR	center
DET.	detail
DTL	detached
DIA	diameter
DN	down
DR	door
DWG	drawing
E.J.	expansion joint
ELEC.	electrical
ELEV. EL.	elevation
EO	equal
EQUIP.	equipment
EWC	electric water cooler
ESTD'	existing
EXT.	exterior
F.D.	floor drain
F.E.	fire extinguisher
FEC	fire extinguisher cabinet
F.H.	fire hose cabinet
F.F., FIN PLR.	finish floor
FIN	finish
FIXT	fixture
FLASHING	flashing
FL	foot
GA	gauge
GALV	galvanized
GL	glass
GYP. BD.	gypsum board
HB	hose bib
HC	handicapped
HDW	hardware
HP	high point
HOL	hollow
HORZ.	horizontal
HM.	hollow metal
HT.	height
HR	hour
INSUL.	insulation
INT.	interior
JT.	joint
LA	landscape area
LEV	level
LP	low point
MANUF.	manufacturer
MH	masonry
MAS	masonry
MATL.	material
MATX	matrix
MECH/MECHYL	mechanical
MET	metal
MSC.	miscellaneous
M.L.	metal lath
M.O.	masonry opening

Character Codes:

S	pound
C	center line
al	at
P	plate
D	diameter
ang	angle

PROVIDE: Means to furnish and install item specified.
PURCHASE: Means to purchase or make available item specified. Installation will be by another party.
INSTALL: Means to install item specified. Item is to be furnished by another party.

Drawing Index

CS Project Data, Project General Notes, Abbreviations

Architectural

- A-1 Site Plan
- A-1.1 Proposed Site Plan
- A-2 Exterior Elevations Convenience Store
- A-2.1 Exterior Elevations Gas Pump Canopy & Signs
- A-3 Signage Site Plan

Civil

- C-1 Paving Plan
- C-2 Utility Plan ; Drainage Area Map
- C-3 Grading Plan

Landscape

- L-1 Landscape Plan; Details

Site Lighting Plan

Ordinance 2574

Exhibit 'A'

Sheet 2 of 25



design

2233 AVENUE J, SUITE 105
ARLINGTON, TEXAS 76006
METRO 817.640.8540 FAX 817.640.8550

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REVISIONS:
8-28-2000
9-25-2000

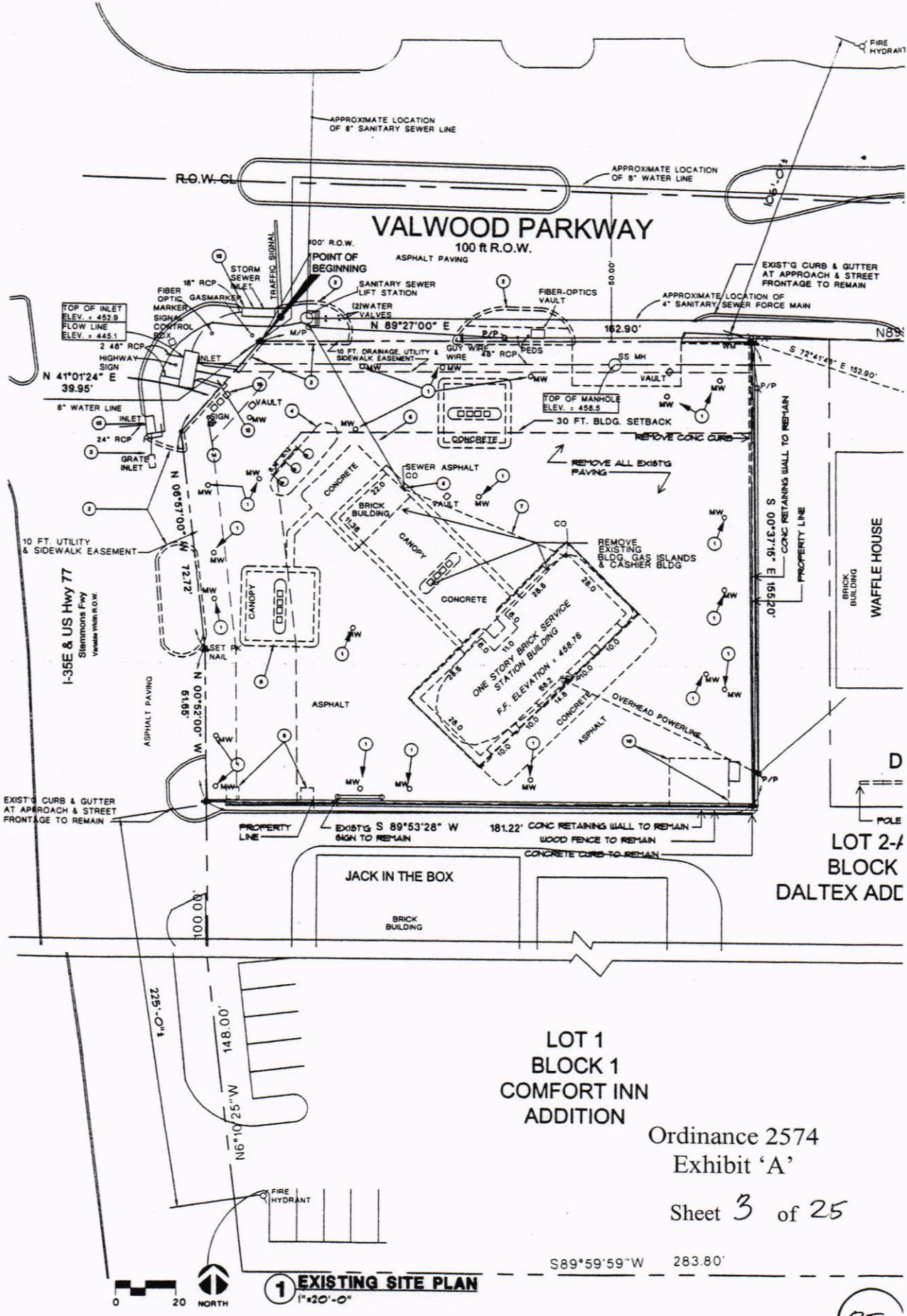
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DRAWN BY: TE/RQ DATE: 7-17-2000
PROJECT NO. SHEET NO.

Case No. 00-SU-17

2000-24

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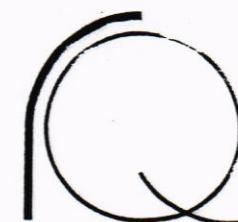
**LOT 1
BLOCK 1
COMFORT INN
ADDITION**

Ordinance 2574
Exhibit 'A'

Sheet 3 of 25

S 89°59'59" W 283.80'

3E



design

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ARLINGTON, TEXAS 76006
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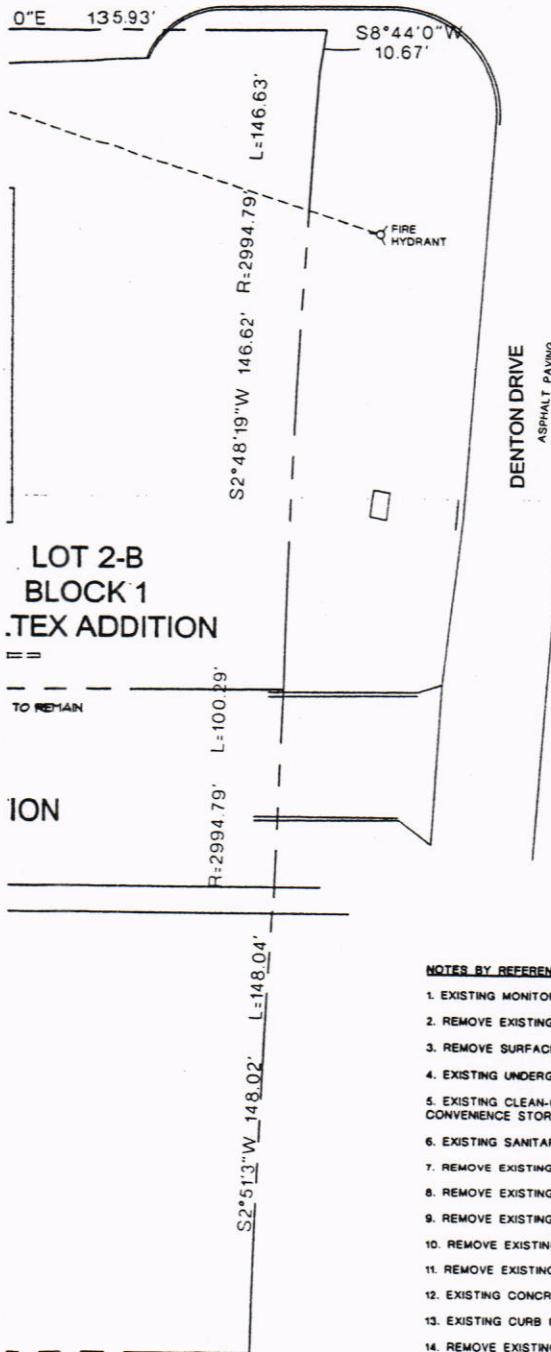


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FOR ZONING APPROVAL ONLY. NOT FOR PERMIT,
BIDDING OR CONSTRUCTION.

Ordinance 2574 Exhibit 'A'

Sheet 4 of 25



PROJECT ADDRESS:
2360 Inwood Pkwy
Farmers Branch, Texas

PROPERTY OWNER:
Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
972-503-3333

APPLICANT INFORMATION:

Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
Contact: Jim Woodson
PHONE: (972) 503-3333
FAX: (972) 503-0007

BUDDY'S FOOD MART

R E V I S I O N S :

△ 8-28-2000

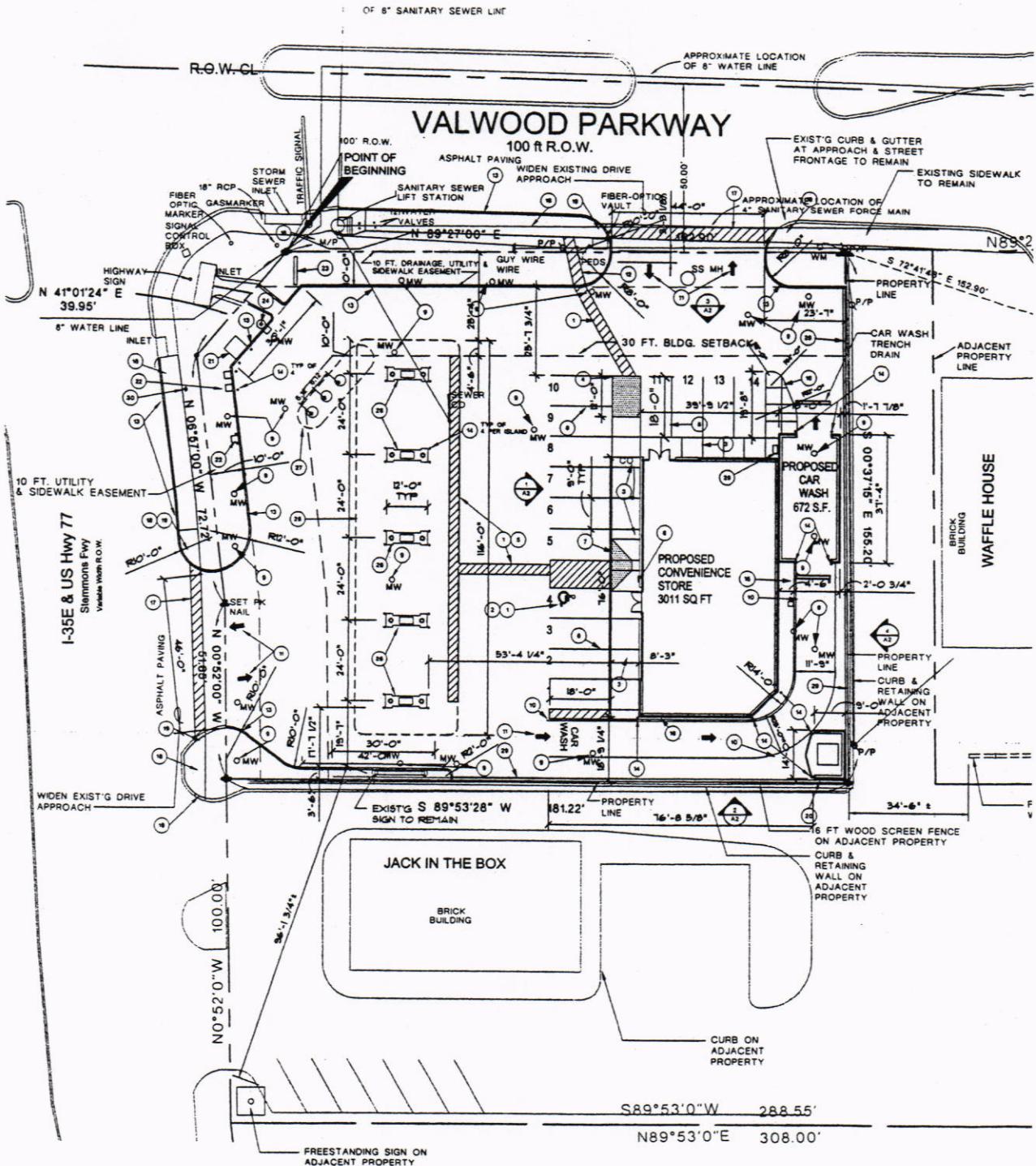
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PROJECT NO. SHEET NO.

2000-24

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(3F)

Case No. 00-SU-17



1 PROPOSED SITE PLAN

SPECIAL EXCEPTIONS REQUESTED:

1. TO ALLOW PUMP CANOPY OVERHEAD TO PROJECT INTO 20 FT SETBACK AT VALWOOD PKY AS INDICATED.
2. FOR NEW PYLON SIGN TO BE LOCATED LESS THAN 50 FEET FROM VALWOOD PARKWAY RIGHT-OF-WAY LINE AS INDICATED.
3. FOR EXISTING NON-COMPLYING SIGN TO REMAIN AT SOUTH PROPERTY LINE TO REMAIN AS INDICATED.
4. SPECIAL EXCEPTIONS FOR SIGNAGE ARE NOTED ON THE ELEVATION DRAWINGS.

GENERAL NOTES:

1. FIRE LANES SHALL BE PROVIDED AS REQUIRED PER 11 AND PER CITY ORDINANCE REQUIREMENTS.
2. ACCESSIBLE PARKING AREAS, BUILDING AND SITE ACC AND CONSTRUCTED PER CITY STANDARDS AND SHAL THE CURRENT ADOPTED BUILDING CODE & CURRENT I
3. MECHANICAL UNITS, DUMPSTERS AND TRASH COMPAC SCREENED IN ACCORDANCE WITH CITY ORDINANCE N
4. ALL SIGNAGE FOR THIS PROJECT SHALL COMPLY WIT CITY ORDINANCE NO. 2111.
5. BUILDING FAÇADES WITHIN THIS PROJECT SHALL CON CITY ORDINANCE 2111.
6. OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATIO PER CITY ORDINANCE REQUIREMENTS.

Ordinance 2574
Exhibit 'A'

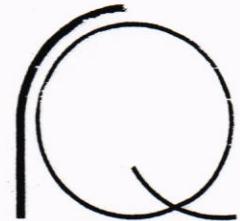
Sheet 5 of 25

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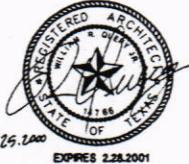
Ordinance 2574

Exhibit 'A'

Sheet 6 of 25



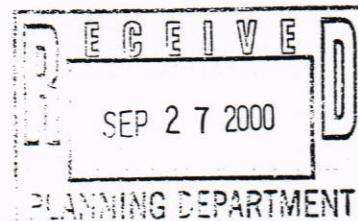
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METRO 817.640.8540 FAX 817.640.8550
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EXPRES 228.2001

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BIDDING OR CONSTRUCTION.



Code Analysis

1997 Uniform Building Code w/ City of Farmers Branch Amendments
1994 Uniform Mechanical Code w/ City of Farmers Branch Amendments
1994 Uniform Fire Code w/ City of Farmers Branch Amendments
1997 Uniform Plumbing Code w/ City of Farmers Branch Amendments
1996 National Electric Code
Occupancy Group: M- Retail Store
B- Car Wash
Construction Type: II-N without an Automatic Fire Sprinkler System
Allowable Height: 55 FT
Allowable Floor Area: 12,000 SF
Occupant Load: 3,011 S.F. Retail Area at 1.50 SF + 60
Required No. of Exits: Retail Area : 2

Floor: Reinforced concrete over select fill
Foundation: Reinforced concrete Grade beams and piers
Exterior Walls: Metal studs, gypsum sheathing,
face brick veneer

Project Data

Address: 2360 Valwood Pky, Farmers Branch, Texas
Legal Description: Lot 1 - Block 1 , Deltex Addition
Zoning: OFB-FW
Residential Proximity: None
Land Area: 26,172 S.F. (0.6467 acres)
Floor Area: 3,683 S.F.
Lot Coverage: 13.03 %
Floor Area Ratio (FAR): 13.03: 1
Parking Total: Required for Gasoline Service Station and Car Wash: 9 (1/400 SF)
Provided: 14
Se setbacks: Required Provided
Front Yard: 30 FT 30 FT
Side Yard: 0 FT 0 FT
Rear Yard: 0 FT
Bldg Ht.: Allowed Provided
40 FT 33 FT
Exterior Bldg Appearance: No less than 75% of all exterior walls, exclusive of windows
and doors shall be masonry cladding per City Ord No. 2111.

NOTES BY REFERENCE:

1. ACCESSIBLE ROUTE FROM PUBLIC SIDEWALK OR ACCESSIBLE PARKING SPACE, REFER TO PLAN. DO NOT EXCEED 5% SLOPE IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
2. ACCESSIBLE PARKING SPACE AND STRIPED LOADING AREA. DO NOT EXCEED 5% SLOPE IN ANY DIRECTION WITHIN PARKING SPACE OR STRIPED ACCESSABLE AREAS.
3. MAXIMUM SIDEWALK SLOPE 2% IN ANY DIRECTION WITHIN 6' OF DOORS.
4. STRIPE ACCESSABLE AND ISLANDS 4" X 4" STRIPE 2'-0" O.C. TYPICAL FOR ALL NEW ACCESS AISLES & ISLANDS.
5. ACCESSIBLE PARKING SIGN PROVIDE VAN ACCESSIBLE EMBIGAGE RE: 1/4A3.
6. ACCESSIBLE CURB RAMP PROVIDE RAMP SURFACE AND FLAMED SIDES WITH TEXTURE & INTEGRAL COLOR THAT CONTRASTS WITH ADJACENT SIDEWALK SURFACE AND COLOR.
7. STRIPE PARKING SPACES WITH 4" STRIPE TRAFFIC MARKING PAINT. TYPICAL FOR ALL PARKING AREAS.
8. EXISTING MONITORING WELL TO REMAIN.
9. MARK CAR WASH LANE & CAR WASH TEXT WITH 4" STRIPE TRAFFIC MARKING PAINT. RE: 1/4A3.
10. PAINTED TRAFFIC DIRECTIONAL ARROW. RE: 1/4A3.
11. NEW ACCESSIBLE ROUTE SIDEWALK.
12. NEW CONCRETE CURB & GUTTER MATCH EXIT'S PROFILE & HEIGHT.
13. BOLLARD. RE: 1/4A3.
14. NOT USED.
15. CONCRETE SIDEWALK & Curb ALONG BLDG FACE.
16. ACCESSIBLE ROUTE PROVIDE 120 MAX RUNNING SLOPE & 2% MAX CROSS SLOPE FOR 36" MR WIDTH ACROSS DRIVE APPROACH.
17. CONCRETE SIDEWALK PER CITY REQUIREMENTS.
18. ACCESSIBLE CURB RAMP PER CITY REQUIREMENTS.
19. MASONRY DUMPSTER ENCLOSURE, INCLUDING METAL GATES PRIMED AND PAINTED. WITH 8FT MINIMUM HEIGHT BRICK EXTERIOR TO MATCH BUILDING.
20. 5' X 6' CONC PAD FOR WATER & AIR DISPENSER UNITS.
21. 5' X 5' CONC PAD FOR PAY TELEPHONE UNITS INSTALLED FOR USE FROM VEHICLE.
22. NEW PYLON SIGN. RE: 1/4A4. IF NEW PYLON IS NOT APPROVED, EXISTING POLE SIGN AT PROPERTY NORTHWEST CORNER WILL REMAIN.
23. NEW POLE MOUNTED LIGHT FIXTURE. RE: 1/4A3
24. ACCESSIBLE PAY TELEPHONE UNIT.
25. FUEL DISPENSER ISLAND. RE: 1/4A4
26. EXISTING UNDERGROUND FUEL TANK.
27. LINE OF CANOPY ABOVE.
28. NEW CONCRETE CURB ALONG PROPERTY LINE REFER TO 1/4A3
29. NEW FIRE HYDRANT. REFER TO UTILITY PLAN

Refer to sheet 3J for
enlarged drawing area

STANDING SIGN ON
THE HOUSE PROPERTY

UNIFORM FIRE CODE

ABILITY SHALL BE DESIGNED
ONLY WITH REQUIREMENTS
ON OF TEXAS ACCESSIBILITY STANDARDS

SHALL BE
111

WITH
STANDARDS

PROJECT ADDRESS:

2360 Valwood Pky
Farmers Branch, Texas

PROPERTY OWNER:

Triples A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
972-503-3333

APPLICANT INFORMATION:

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12342 Inwood Road
Dallas, Texas 75244
Contact: Jim Woodson
PHONE : (972) 503-3333
FAX : (972) 503-0007

BUDDY'S FOOD MART

REVISIONS:

▲ 8-26-2000

▲ 9-26-2000

CHECKED BY: RQ

DRAWN BY: TE/RQ DATE: 7-17-2000

PROJECT NO.

SHEET NO.

Case No. 00-SU-17

2000-24

3H

Code Analysis

1997 Uniform Building Code w/ City of Farmers Branch Amendments

1994 Uniform Mechanical Code w/ City of Farmers Branch Amendments

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Occupancy Group: M- Retail Store

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Construction Type: II-N without an Automatic Fire Sprinkler System

55 FT

Allowable Height: 12,000 SF

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Occupant Load:

Required No. of Exits: Retail Area : 2

Floor: Reinforced concrete over select fill

Foundation: Reinforced concrete Grade beams and piers

Exterior Walls: Metal studs, gypsum sheathing,

face brick veneer

Project Data

Address:

Legal Description:

Zoning:

Residential Proximity :

Land Area:

28,172 S.F.

(0.6467 acres)

Floor Area:

3,683 S.F.

13.03 %

Lot Coverage:

13.03: 1

Floor Area Ratio (FAR):

Required for Gasoline Service Station and Car Wash: 9 (1/400 SF)

Provided: 14

Required

30 FT

Front Yard :

0 FT

Side Yard :

0 FT

Rear Yard :

Allowed

Provided

33 FT

Exterior Bldg Appearance: No less than 75% of all exterior walls, exclusive of windows and doors shall be masonry cladding per City Ord No. 2111.

(31)
H

Ordinance 2574

Exhibit 'A'

Sheet 7 of 25

Case No. 00-SU-17

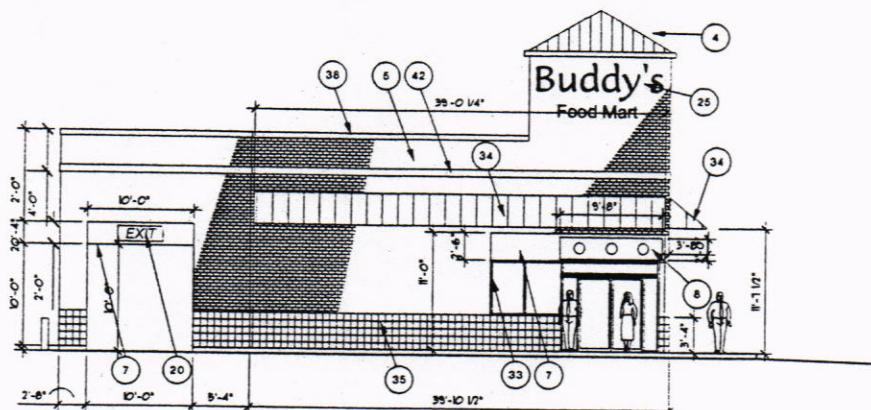
Ordinance 2574

Exhibit 'A'

Sheet 8 of 25

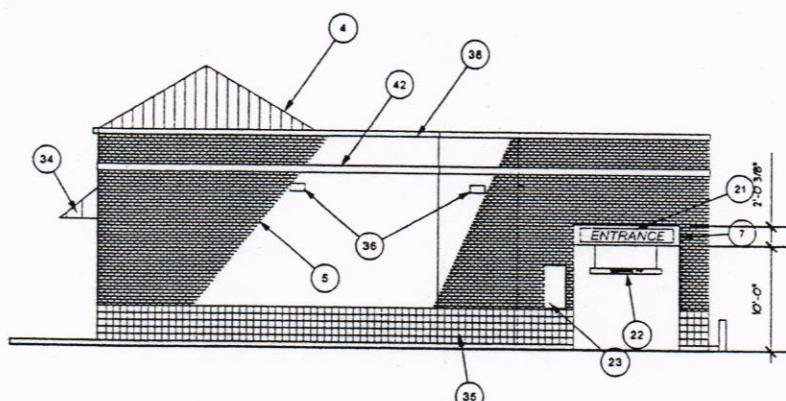
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2. ACCESSIBLE PARKING SPACE AND STRIPED LOADING AREA. DO NOT EXCEED 2% SLOPE IN ANY DIRECTION WITHIN PARKING SPACE OR STRIPED ACCESS AISLE AREAS.
3. ACCESSIBLE SIDEWALK. MAXIMUM SLOPE 2% IN ANY DIRECTION WITHIN 6' OF DOORS.
4. MAXIMUM SIDEWALK SLOPE FROM CURB RAMP OR ACCESSIBLE RAMP 5% IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
5. STRIPE ACCESS AISLE AND ISLANDS W/4" STRIPE 2'-0" O.C. TYPICAL FOR ALL NEW ACCESS AISLES & ISLANDS.
6. ACCESSIBLE PARKING SIGN. PROVIDE VAN ACCESSIBLE SIGNAGE. RE: 11/A3.
7. ACCESSIBLE CURB RAMP. PROVIDE RAMP SURFACE AND FLARED SIDES WITH TEXTURE & INTEGRAL COLOR THAT CONTRASTS WITH ADJACENT SIDEWALK SURFACE AND COLOR.
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9. EXISTING MONITORING WELL TO REMAIN.
10. MARK CAR WASH LANE & CAR WASH TEXT WITH 4" STRIPE TRAFFIC MARKING PAINT. RE: 10/A3.
11. PAINTED TRAFFIC DIRECTIONAL ARROW. RE: 9/A3.
12. NEW ACCESSIBLE ROUTE SIDEWALK.
13. NEW CONCRETE CURB & GUTTER. MATCH EXIT/G PROFILE & HEIGHT.
14. BOLLARD. RE: 2/A3.
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16. CONCRETE SIDEWALK & CURB ALONG BLDG FACE.
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26. FUEL DISPENSER ISLAND. RE: 2/A4 .
27. EXISTING UNDERGROUND FUEL TANK.
28. LINE OF CANOPY ABOVE.
29. NEW CONCRETE CURB ALONG PROPERTY LINE. REFER TO 11/C1.
30. NEW FIRE HYDRANT. REFER TO UTILITY PLAN.



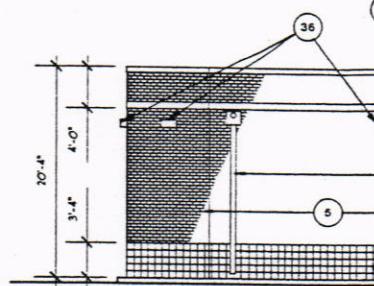
1 NORTH ELEVATION
1/8" = 1'-0"

SPECIAL EXCEPTION
REQUESTED TO ALLOW
ATTACHED SIGN ON THIS
BLDG FAÇADE FOR AMENITY
SIGN BAND ABOVE ENTRY AND
CAR WASH EXIT

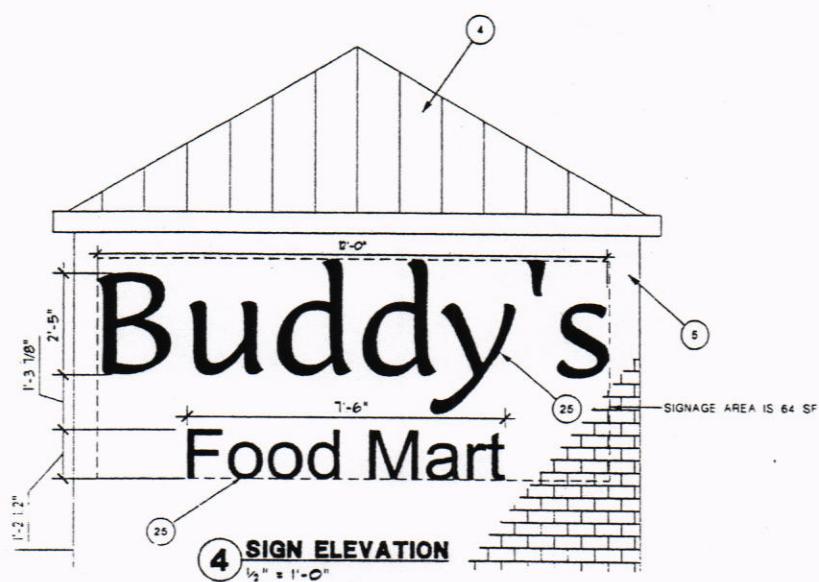


3 SOUTH ELEVATION
1/8" = 1'-0"

SPECIAL EXCEPTION
REQUESTED TO ALLOW
ATTACHED SIGN FOR CAR
WASH ENTRY AND CAR WASH
INSTRUCTIONS ON THIS BLDG
FAÇADE



4 EAST ELEVATION
1/8" = 1'-0"

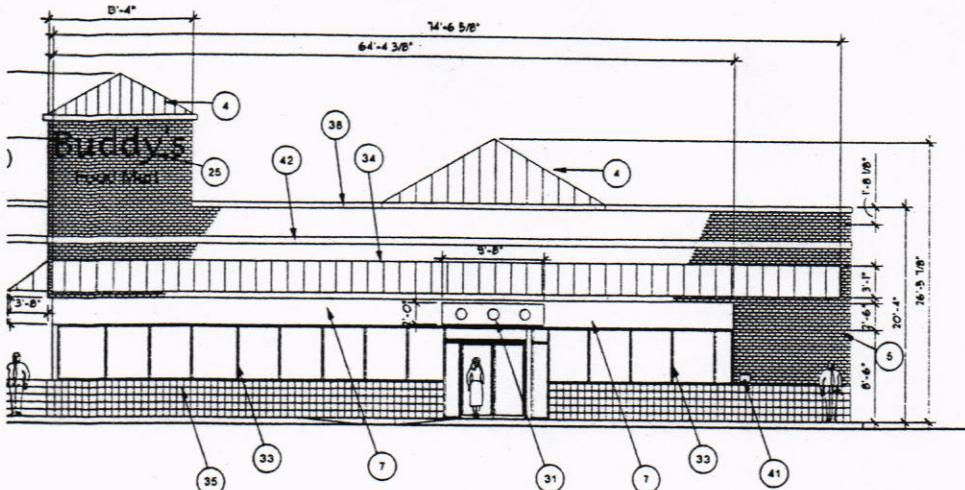


4 SIGN ELEVATION
1/8" = 1'-0"

Ordinance 2574
Exhibit 'A'

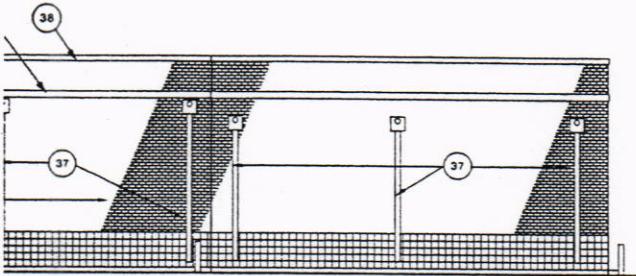
Sheet 9 of 25

3K



2 WEST ELEVATION

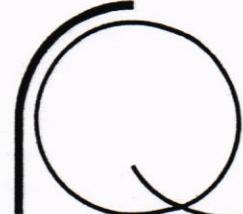
SPECIAL EXCEPTION
REQUESTED TO ALLOW
ATTACHED SIGN ON THIS
BLDG FAÇADE FOR AMENITY
SIGN BAND ABOVE ENTRY



Refer to sheet 3M for
enlarged drawing area

NOTES BY REFERENCE

1. ALUMINUM COMPOSITE MATERIAL: GLOSS BLACK. 30' RADIUS AT CORNERS.
2. INTERNALLY ILLUMINATED CONVEX POLYCARBONATE STAR SYMBOL. WHITE STAR ON RED CIRCLE BACKGROUND AND RED TO BLACK GRADATION DECAL APPLIED TO ALUMINUM COMPOSITE MATERIAL. 33" HIGH. REFER TO ELEVATION FOR LENGTH.
3. NOT USED.
4. PREFINISHED STANDING BEAM METAL ROOF. PAINT FINISH: RED.
5. FACE BRICK.
6. INTERNALLY ILLUMINATED RED ACRYLIC ACCENT BAND ROLLED TO A 6" RADIUS.
7. SHEET METAL SIGNAGE BAND. PAINT FINISH: RED.
8. EXISTING INTERNALLY ILLUMINATED POLE SIGN TO REMAIN UNLESS PYLON SIGN PER NOTE 13 IS APPROVED.
9. EXISTING INTERNALLY ILLUMINATED SIGNAGE BOX AT SOUTH PROPERTY LINE TO REMAIN.
10. GAS PUMP CANOPY COLUMNS. PAINT FINISH: GRAY.
11. FUEL DISPENSER NUMBER FLAG SIGN. 1/8" ALUMINUM PAINTED: VINYL DIE-CUT NUMERALS.
12. INTERNALLY ILLUMINATED CHANNEL LETTER TEXACO LOGOTYPE. 30' HIGH. RED TRANSLUCENT POLYCARBONATE. RETURNS & RETAINERS ARE GLOSS BLACK METAL.
13. PYLON SIGN WITH 6'X6' PRIMARY IDENTIFIER INTERNALLY ILLUMINATED. IF PYLON IS NOT APPROVED, EXISTING POLE SIGN AT PROPERTY NORTHWEST CORNER IS TO REMAIN. RE: 6/A2.1
14. INTERNALLY ILLUMINATED SERVICE MODULES MAXIMUM OF 3.
15. INTERNALLY ILLUMINATED PRICE MODULE.
16. COLUMN DECALS FOR SERVICE & REGULATORY INFORMATION.
17. FUEL DISPENSER UNIT.
18. BOLLARD. 3' HIGH. TOP HALF PAINTED RED. BOTTOM HALF PAINTED LIGHT GRAY.
19. CLEARANCE TEXT. 4" HIGH VINYL DIE-CUT APPLIED TO RED ACCENT BAND.
20. EXIT DECAL. 16.5" X 106" APPLIED TO SIGN BAND.
21. ENTRANCE DECAL. 16.5" X 106" APPLIED TO SIGN BAND.
22. CLEARANCE BAR. 6" DIA X 6'-0".
23. CAR WASH INSTRUCTION SIGN PANEL MOUNTED TO WALL FACE. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS.
24. CAR WASH INSTRUCTION SIGN POST MOUNTED ADJACENT TO TOKEN BOX. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS. RE: 6/A2.1.
25. INTERNALLY ILLUMINATED CHANNEL LETTER RED TRANSLUCENT POLYCARBONATE. RETURNS & RETAINERS ARE PAINTED SHEET METAL TO MATCH COLOR OF WALL.
26. POLE MOUNTED ACCESSIBLE PARKING SIGNS.
27. AIR AND WATER DISPENSER UNIT.
28. PAY TELEPHONE UNITS.
29. PUMP TOPPERS.
30. INTERCOM SPEAKER UNIT.
31. ALUMINUM OVERHEAD ENTRY BAND. BRUSHED ALUMINUM FINISH. WITH 3 1/2" DIA VINYL DECAL TO IDENTIFY AMENITIES AVAILABLE.
32. CAR WASH DIRECTIONAL SIGN POST MOUNTED. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS TO INDICATE WHETHER CAR WASH IS OPEN OR CLOSED. RE: 6/A2.1
33. ALUMINUM STOREFRONT W/ CLEAR GLAZING. STOREFRONT PAINTED RED.
34. PREFINISHED METAL AWNING. COLOR TO MATCH BRUSHED ALUMINUM.
35. CONCRETE MASONRY UNIT W/ ROCKFACE TEXTURE.
36. WALL-MOUNTED LIGHT FIXTURE.
37. SHEET METAL DOWNSPOUT & CONDUCTOR HEAD. PAINT FINISH: COLOR TO MATCH BRICK.
38. PREFINISHED METAL CAP FLASHING AT PARAPET. COLOR RED.
39. WALL BEYOND.
40. CAR WASH TOKEN BOX & CONTROL KEYPAD UNIT. POST-MOUNTED.
41. WALL-MOUNTED EMERGENCY PUMP SHUT-OFF SIGN & BUTTON.
42. ACCENT BAND. CONCRETE MASONRY UNIT W/ ROCKFACE TEXTURE.



2233 AVENUE J, SUITE 105
ARLINGTON, TEXAS 76006
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FOR ZONING APPROVAL ONLY. NOT FOR PERMIT,
BIDDING OR CONSTRUCTION.

PROJECT ADDRESS:

2360 Valwood Pkwy
Farmers Branch, Texas

PROPERTY OWNER:

Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
972-503-3333

APPLICANT INFORMATION:

Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
Contact: Jim Woodson
PHONE : (972) 503-3333
FAX : (972) 503-0007

BUDDY'S FOOD MART

REVISIONS:

▲ 8-28-2000

CHECKED BY: RQ

DRAWN BY: TE/RQ DATE: 7-17-2000
PROJECT NO.: SHEET NO.

Ordinance 2574

Exhibit 'A'

Sheet 10 of 25

Case No. 00-SU-17

2000-24

A-2

(3L)

NOTES BY REFERENCE:

1. ALUMINUM COMPOSITE MATERIAL. GLOSS BLACK. 30" RADIUS AT CORNERS.
2. INTERNALLY ILLUMINATED CONVEX POLYCARBONATE STAR SYMBOL. WHITE STAR ON RED CIRCLE BACKGROUND AND RED TO BLACK GRADATION DECAL APPLIED TO ALUMINUM COMPOSITE MATERIAL. 33" HIGH. REFER TO ELEVATION FOR LENGTH.
3. NOT USED .
4. PREFINISHED STANDING SEAM METAL ROOF. PAINT FINISH. RED.
5. FACE BRICK.
6. INTERNALLY ILLUMINATED RED ACRYLIC ACCENT BAND ROLLED TO A 6" RADIUS.
7. SHEET METAL SIGNAGE BAND. PAINT FINISH. RED.
8. EXISTING INTERNALLY ILLUMINATED POLE SIGN TO REMAIN UNLESS PYLON SIGN PER NOTE 13 IS APPROVED.
9. EXISTING INTERNALLY ILLUMINATED SIGNAGE BOX AT SOUTH PROPERTY LINE TO REMAIN.
10. GAS PUMP CANOPY COLUMNS. PAINT FINISH. GRAY.
11. FUEL DISPENSER NUMBER FLAG SIGN. 1/8" ALUMINUM PAINTED. VINYL DIE-CUT NUMERALS.
12. INTERNALLY ILLUMINATED CHANNEL LETTER TEXACO LOGOTYPE 30" HIGH. RED TRANSLUCENT POLYCARBONATE. RETURNS & RETAINERS ARE GLOSS BLACK METAL.
13. PYLON SIGN WITH 6'x6' PRIMARY IDENTIFIER. INTERNALLY ILLUMINATED. IF PYLON IS NOT APPROVED, EXISTING POLE SIGN AT PROPERTY NORTHWEST CORNER IS TO REMAIN . RE: 6/A2.1
14. INTERNALLY ILLUMINATED SERVICE MODULES. MAXIMUM OF 3.
15. INTERNALLY ILLUMINATED PRICE MODULE.
16. COLUMN DECALS FOR SERVICE & REGULATORY INFORMATION.
17. FUEL DISPENSER UNIT.
18. BOLLARD. 3' HIGH. TOP HALF PAINTED RED. BOTTOM HALF PAINTED LIGHT GRAY.
19. CLEARANCE TEXT. 4" HIGH VINYL DIE-CUT APPLIED TO RED ACCENT BAND.
20. EXIT DECAL 16.5" X 51" APPLIED TO SIGN BAND.
21. ENTRANCE DECAL 16.5" X 105" APPLIED TO SIGN BAND.
22. CLEARANCE BAR. 6" DIA X 6'-9" .
23. CAR WASH INSTRUCTION SIGN PANEL MOUNTED TO WALL FACE. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS.
24. CAR WASH INSTRUCTION SIGN POST MOUNTED ADJACENT TO TOKEN BOX. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS. RE: 8/A2.1 .
25. INTERNALLY ILLUMINATED CHANNEL LETTER. RED TRANSLUCENT POLYCARBONATE. RETURNS & RETAINERS ARE PAINTED SHEET METAL TO MATCH COLOR OF WALL.
26. POLE MOUNTED ACCESSIBLE PARKING SIGNS.
27. AIR AND WATER DISPENSER UNIT.
28. PAY TELEPHONE UNITS.
29. PUMP TOPPERS.
30. INTERCOM SPEAKER UNIT.
31. ALUMINUM OVERHEAD ENTRY BAND. BRUSHED ALUMINUM FINISH, WITH 3 15" DIA VINYL DECAL TO IDENTIFY AMENITIES AVAILABLE.
32. CAR WASH DIRECTIONAL SIGN POST MOUNTED. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS TO INDICATE WHETHER CAR WASH IS OPEN OR CLOSED. RE: 8/A2.1
33. ALUMINUM STOREFRONT W/ CLEAR GLAZING. STOREFRONT PAINTED RED.
34. PREFINISHED METAL AWNING. COLOR TO MATCH BRUSHED ALUMINUM.
35. CONCRETE MASONRY UNIT WITH 'ROCKFACE' TEXTURE.
36. WALL-MOUNTED LIGHT FIXTURE.
37. SHEET METAL DOWNSPOUT & CONDUCTOR HEAD. PAINT FINISH. COLOR TO MATCH BRICK.
38. PREFINISHED METAL CAP FLASHING AT PARAPET. COLOR RED.
39. WALL BEYOND.
40. CAR WASH TOKEN BOX & CONTROL KEYPAD UNIT. POST-MOUNTED.
41. WALL-MOUNTED EMERGENCY PUMP SHUT-OFF SIGN & BUTTON.
42. ACCENT BAND. CONCRETE MASONRY UNIT W/ 'ROCKFACE' TEXTURE.

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was not made available to ou
or implied as to the informati

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BIDDING OR CONST

PROJECT ADD
2360 Valwood Pky
Farmers Branch, Tex

PROPERTY O'
Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
972-503-3333

APPLICANT IN

Triple A Oil Co., Inc
12342 Inwood Road
Dallas, Texas 75244
Contact: Jim Woods
PHONE : (972) 503-3333
FAX : (972) 503-0000

BUDDY'S F

REVISIONS:

▲ 8-28-2000

Ordinance 2574
Exhibit 'A'

Sheet 11 of 25

CHECKED BY: R

DRAWN BY: TEI

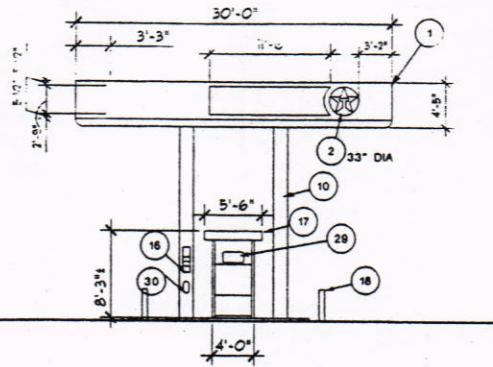
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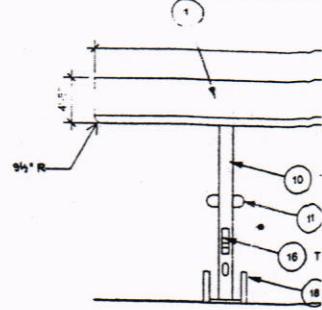
Ordinance 2574
Exhibit 'A'

Sheet 12 of 25

(3N)

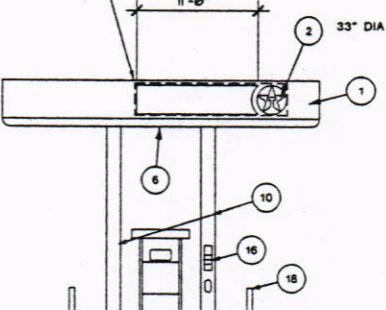


1 NORTH ELEVATION



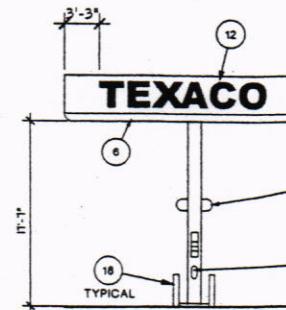
2 EAST ELEV.

THIS SIGN IS REQUESTED BY
SPECIAL EXCEPTION



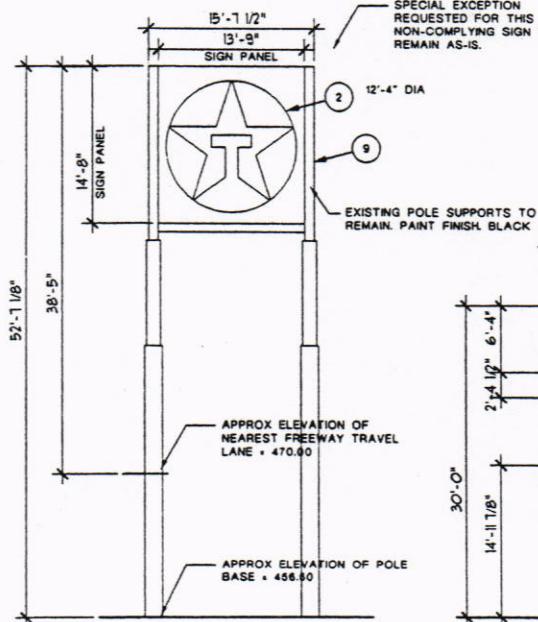
RE: 1 & 2/A4.1 FOR TYPICAL
NOTES & DIMENSIONS

3 SOUTH ELEVATION



4 WEST ELEV.

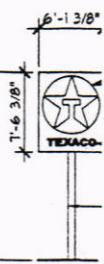
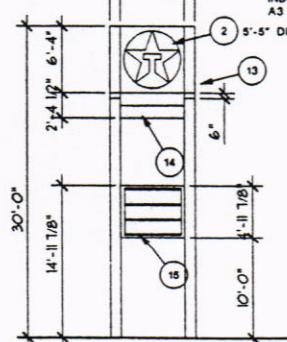
SPECIAL EXCEPTION
REQUESTED FOR THIS
NON-COMPLYING SIGN TO
REMAIN AS-IS.



APPROX ELEVATION OF
NEAREST FREEWAY TRAVEL
LANE = 470.00

APPROX ELEVATION OF POLE
BASE = 456.80

SPECIAL EXCEPTION
REQUESTED FOR THIS SIGN TO
BE LOCATED LESS THAN 50
FT FROM VALWOOD PARKWAY
RIGHT-OF-WAY LINE AS
INDICATED ON SHEET A1.1 &
A3



5 EXIST'G INTERSTATE SIGN ELEVATION

1/8" = 1'-0"

(SOUTH PROPERTY LINE)

6 PROPOSED PYLON SIGN ELEVATION

1/8" = 1'-0"

(VALWOOD PARKWAY)

7 EXISTING POLI

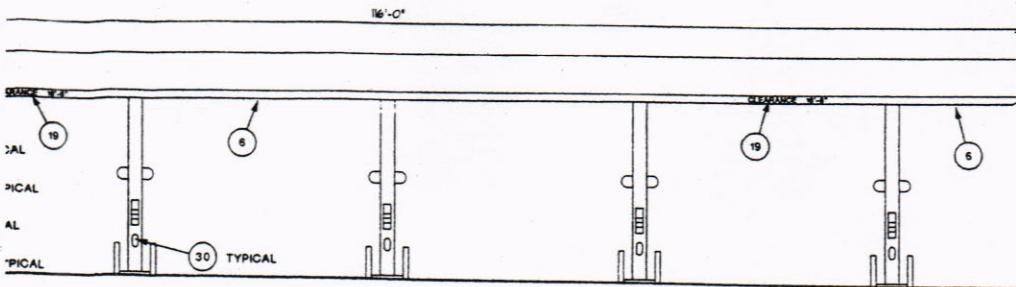
1/8" = 1'-0"

(NORTHWEST CORNER)

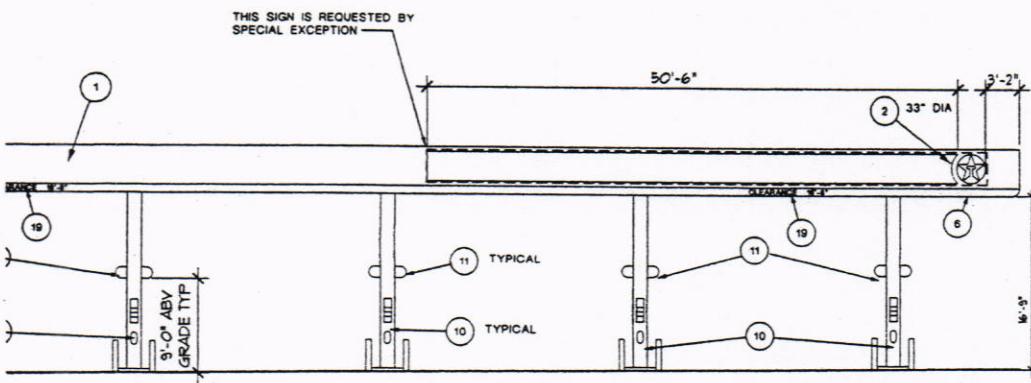
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Ordinance 2574
Exhibit 'A'

Sheet 13 of 25



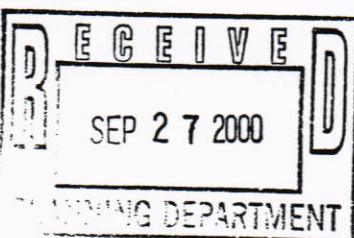
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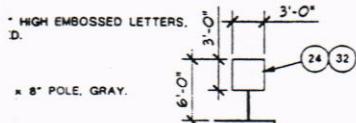
A2.1 FOR TYPICAL DIMENSIONS
ION

ION

Refer to sheet 3Q for enlarged drawing area

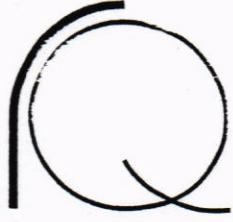


2 5'-4" DIA



IGN 8 PROPOSED DIRECTIONAL SIGN
 $\frac{1}{8}$ " = 1'-0"

- THIS SIGN IS REQUESTED BY SPECIAL EXCEPTION
- NOTES BY DRAWER:
1. ALUMINUM COMPOSITE MATERIAL GLOSS BLACK 30" RADIUS AT CORNERS.
 2. INTERNALLY ILLUMINATED CONVEX POLYCARBONATE STAR SYMBOL. WHITE STAR ON RED CIRCLE BACKGROUND AND RED TO BLACK GRADATION DECAL APPLIED TO ALUMINUM COMPOSITE MATERIAL 33" HIGH. REFER TO ELEVATION FOR LENGTH.
 3. NOT USED.
 4. PREPRIMED STANDING SEAM METAL ROOF. PAINT FINISH RED.
 5. FACE BRICK.
 6. INTERNALLY ILLUMINATED RED ACRYLIC ACCENT BAND ROLLED TO A 4" RADIUS.
 7. SHEET METAL SIGNAGE BAND. PAINT FINISH RED.
 8. EXISTING INTERNALLY ILLUMINATED POLE SIGN TO REMAIN UNLESS PYLON SIGN PER NOTE 13 IS APPROVED.
 9. EXISTING INTERNALLY ILLUMINATED SIGNAGE BOX AT SOUTH PROPERTY LINE TO REMAIN.
 10. GAS PUMP CANOPY COLUMN. PAINT FINISH GRAY.
 11. GAS PUMP NUMBER FLAG SIGN. 1/8" ALUMINUM PAINTED VINYL DIE-CUT MATERIALS.
 12. INTERNALLY ILLUMINATED CHANNEL LETTER TEXACO LOGOTYPE 30" HIGH. RED TRANSLUCENT POLYCARBONATE. RETURNS & RETAINERS ARE GLOSS BLACK METAL.
 13. PYLON SIGN WITH FAS PRIMARY IDENTIFIER. INTERNALLY ILLUMINATED. IF PYLON IS NOT APPROVED, EXISTING POLE SIGN AT PROPERTY NORTHWEST CORNER IS TO REMAIN. RE: 6/2/01
 14. INTERNALLY ILLUMINATED SERVICE MODULES. MAXIMUM OF 3.
 15. INTERNALLY ILLUMINATED PRICE MODULE.
 16. COLUMN DECALS FOR SERVICE & REGULATORY INFORMATION.
 17. FUEL DISPENSER UNIT.
 18. BOLLARD. 2" HIGH. TOP HALF PAINTED RED. BOTTOM HALF PAINTED LIGHT GRAY.
 19. CLEARANCE TEXT. 4" HIGH VINYL DIE-CUT APPLIED TO RED ACCENT BAND.
 20. EXIT DECAL 14" X 8" APPLIED TO SIGN BAND.
 21. ENTRANCE DECAL 14" X 10" APPLIED TO SIGN BAND.
 22. CLEARANCE BAR. 4" DIA X 6'-0".
 23. CAR WASH INSTRUCTION SIGN PANEL. MOUNTED TO WALL FACE. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS.
 24. CAR WASH INSTRUCTION SIGN POST MOUNTED ADJACENT TO TOKEN BOX. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS. RE: 6/2/01
 25. INTERNALLY ILLUMINATED CHANNEL LETTER RED TRANSLUCENT POLYCARBONATE. RETURNS & RETAINERS ARE PAINTED SHEET METAL TO MATCH COLOR OF WALL.
 26. POLE MOUNTED ACCESSIBLE PARKING SIGN.
 27. AIR AND WATER DISPENSER UNIT.
 28. PAY TELEPHONE UNIT.
 29. PUMP TOPPERS.
 30. INTERCOM SPEAKER UNIT.
 31. ALUMINUM OVERHEAD ENTRY BAND. BRUSHED ALUMINUM FINISH. WITH 3 1/2" DIA VINYL DECAL TO NOTIFY CUSTOMERS AVAILABLE.
 32. CAR WASH DIRECTIONAL SIGN POST MOUNTED. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS TO INDICATE WHETHER CAR WASH IS OPEN OR CLOSED. RE: 6/2/01
 33. ALUMINUM STOREFRONT W/ CLEAR GLAZING. STOREFRONT PAINTED RED.
 34. PREPRIMED METAL AWNING COLOR TO MATCH BRUSHED ALUMINUM.
 35. CONCRETE MASONRY UNIT WITH TROCFACE TEXTURE.
 36. WALL-MOUNTED LIGHT FIXTURE.
 37. SHEET METAL DOWNSPOUT & CONDUCTOR HEAD. PAINT FINISH COLOR TO MATCH BRICK.
 38. PREPRIMED METAL CAP FLASHING AT PARAPET. COLOR RED.
 39. WALL BEYOND.
 40. CAR WASH TOKEN BOX & CONTROL KEYPAD UNIT. POST-MOUNTED.
 41. WALL-MOUNTED EMERGENCY PUMP SHUT-OFF SIGN & BUTTON.
 42. ACCENT BAND. CONCRETE MASONRY UNIT W/ TROCFACE TEXTURE.



2233 AVENUE J, SUITE 105
ARLINGTON, TEXAS 76006
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FOR ZONING APPROVAL ONLY. NOT FOR PERMIT BIDDING OR CONSTRUCTION.

PROJECT ADDRESS:
2360 Vailwood Pkwy
Farmers Branch, Texas

PROPERTY OWNER:
Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
972-503-3333

APPLICANT INFORMATION:

Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
Contact: Jim Woodsen
PHONE : 972/503-3333
FAX : 972/503-0007

BUDDY'S FOOD MART

Ordinance 2574 Exhibit 'A'

Sheet 14 of 25

CHECKED BY: RQ
DRAWN BY: TE/RQ DATE: 7-17-2000
PROJECT NO. SHEET NO. 14

2000-24

3P

Case No. 00-SU-17

NOTES BY REFERENCE:

1. ALUMINUM COMPOSITE MATERIAL. GLOSS BLACK. 30" RADIUS AT CORNERS.
2. INTERNALLY ILLUMINATED CONVEX POLYCARBONATE STAR SYMBOL. WHITE STAR ON RED CIRCLE BACKGROUND AND RED TO BLACK GRADATION DECAL APPLIED TO ALUMINUM COMPOSITE MATERIAL. 33" HIGH. REFER TO ELEVATION FOR LENGTH.
3. NOT USED .
4. PREFINISHED STANDING SEAM METAL ROOF. PAINT FINISH. RED.
5. FACE BRICK.
6. INTERNALLY ILLUMINATED RED ACRYLIC ACCENT BAND ROLLED TO A 6" RADIUS.
7. SHEET METAL SIGNAGE BAND. PAINT FINISH. RED.
8. EXISTING INTERNALLY ILLUMINATED POLE SIGN TO REMAIN UNLESS PYLON SIGN PER NOTE 13 IS APPROVED.
9. EXISTING INTERNALLY ILLUMINATED SIGNAGE BOX AT SOUTH PROPERTY LINE TO REMAIN.
10. GAS PUMP CANOPY COLUMNS. PAINT FINISH. GRAY.
11. FUEL DISPENSER NUMBER FLAG SIGN. 1/8" ALUMINUM PAINTED. VINYL DIE-CUT NUMERALS.
12. INTERNALLY ILLUMINATED CHANNEL LETTER TEXACO LOGOTYPE 30" HIGH. RED TRANSLUCENT POLYCARBONATE. RETURNS & RETAINERS ARE GLOSS BLACK METAL.
13. PYLON SIGN WITH 6'x6' PRIMARY IDENTIFIER. INTERNALLY ILLUMINATED. IF PYLON IS NOT APPROVED, EXISTING POLE SIGN AT PROPERTY NORTHWEST CORNER IS TO REMAIN . RE: 6/A2.1
14. INTERNALLY ILLUMINATED SERVICE MODULES. MAXIMUM OF 3.
15. INTERNALLY ILLUMINATED PRICE MODULE.
16. COLUMN DECALS FOR SERVICE & REGULATORY INFORMATION.
17. FUEL DISPENSER UNIT.
18. BOLLARD. 3' HIGH. TOP HALF PAINTED RED. BOTTOM HALF PAINTED LIGHT GRAY.
19. CLEARANCE TEXT. 4" HIGH VINYL DIE-CUT APPLIED TO RED ACCENT BAND.
20. EXIT DECAL 16.5" X 61". APPLIED TO SIGN BAND.
21. ENTRANCE DECAL 16.5" X 105" APPLIED TO SIGN BAND.
22. CLEARANCE BAR. 6" DIA X 6'-0" .
23. CAR WASH INSTRUCTION SIGN PANEL MOUNTED TO WALL FACE. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS.
24. CAR WASH INSTRUCTION SIGN POST MOUNTED ADJACENT TO TOKEN BOX. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS. RE: 8/A2.1 .
25. INTERNALLY ILLUMINATED CHANNEL LETTER. RED TRANSLUCENT POLYCARBONATE. RETURNS & RETAINERS ARE PAINTED SHEET METAL TO MATCH COLOR OF WALL.
26. POLE MOUNTED ACCESSIBLE PARKING SIGNS.
27. AIR AND WATER DISPENSER UNIT.
28. PAY TELEPHONE UNITS.
29. PUMP TOPPERS.
30. INTERCOM SPEAKER UNIT.
31. ALUMINUM OVERHEAD ENTRY BAND. BRUSHED ALUMINUM FINISH. WITH 3 16" DIA VINYL DECAL TO IDENTIFY AMENITIES AVAILABLE.
32. CAR WASH DIRECTIONAL SIGN POST MOUNTED. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS TO INDICATE WHETHER CAR WASH IS OPEN OR CLOSED. RE: 8/A2.1
33. ALUMINUM STOREFRONT W/ CLEAR GLAZING. STOREFRONT PAINTED RED.
34. PREFINISHED METAL AWNING. COLOR TO MATCH BRUSHED ALUMINUM.
35. CONCRETE MASONRY UNIT WITH 'ROCKFACE' TEXTURE.
36. WALL-MOUNTED LIGHT FIXTURE.
37. SHEET METAL DOWNSPOUT & CONDUCTOR HEAD. PAINT FINISH. COLOR TO MATCH BRICK.
38. PREFINISHED METAL CAP FLASHING AT PARAPET. COLOR RED.
39. WALL BEYOND.
40. CAR WASH TOKEN BOX & CONTROL KEYPAD UNIT. POST-MOUNTED.
41. WALL-MOUNTED EMERGENCY PUMP SHUT-OFF SIGN & BUTTON.
42. ACCENT BAND. CONCRETE MASONRY UNIT W/ 'ROCKFACE' TEXTURE.

Ordinance 2574
Exhibit 'A'

Sheet 15 of 25

3Q

SIGN

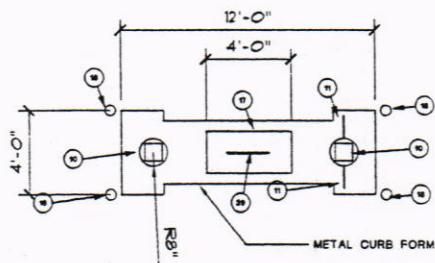
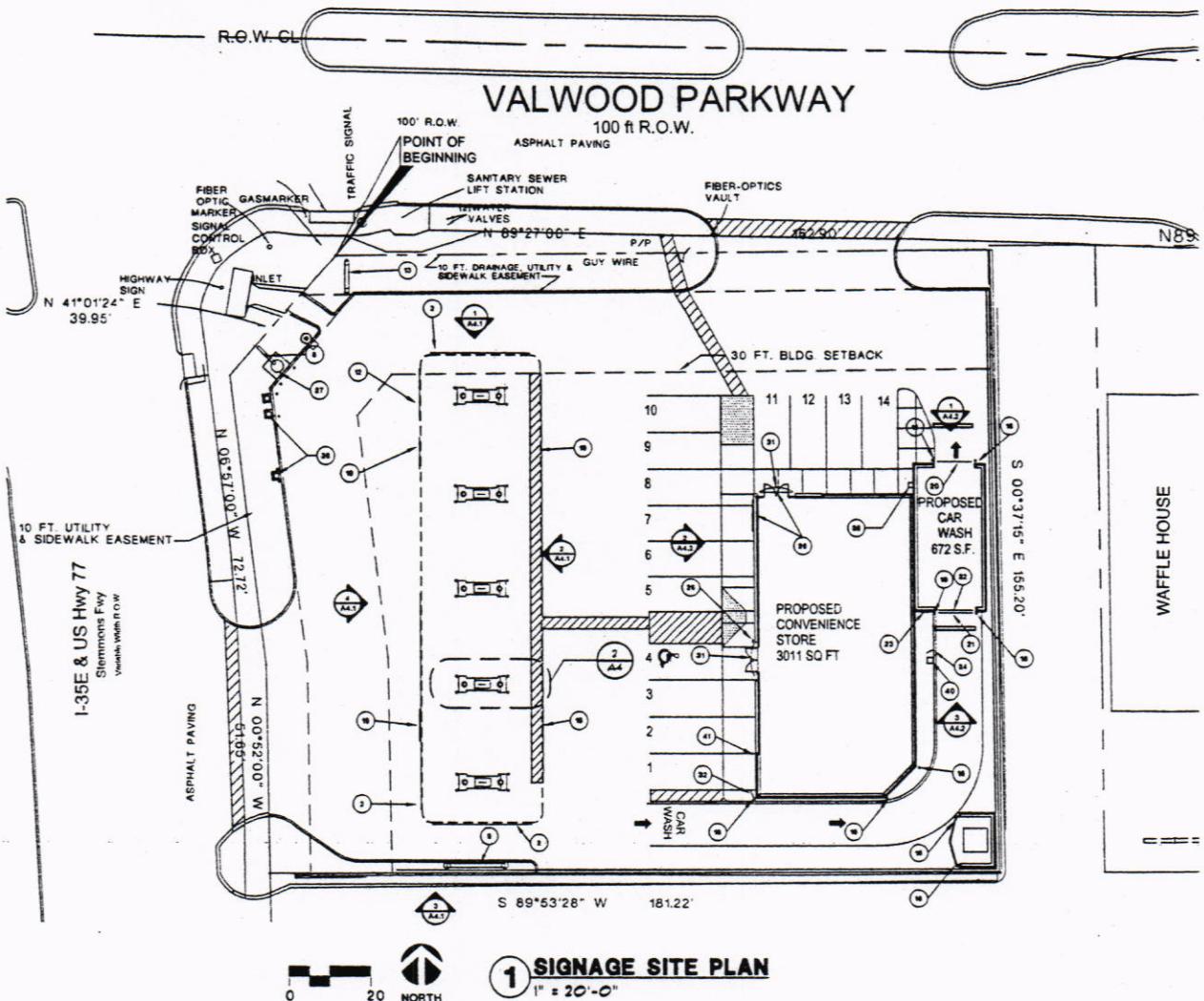
Case No. 00-SI-117

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Ordinance 2574
Exhibit 'A'

Sheet 16 of 25

(3R)



2 FUEL DISPENSER PLAN DETAIL
 $\frac{1}{4}$ " = 1'-0"

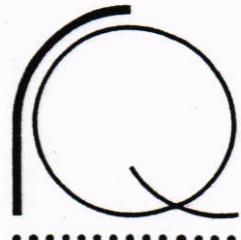
Ordinance 2574
Exhibit 'A'

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35

NOTES BY REFERENCE:

1. ALUMINUM COMPOSITE MATERIAL. GLOSS BLACK. 30" RADIUS AT CORNERS.
2. INTERNALLY ILLUMINATED CONVEX POLYCARBONATE STAR SYMBOL. WHITE STAR ON RED CIRCLE BACKGROUND AND RED TO BLACK GRADATION DECAL APPLIED TO ALUMINUM COMPOSITE MATERIAL. 33" HIGH. REFER TO ELEVATION FOR LENGTH.
3. NOT USED.
4. PREFINISHED STANDING SEAM METAL ROOF. PAINT FINISH. RED.
5. FACE BRICK.
6. INTERNALLY ILLUMINATED RED ACRYLIC ACCENT BAND ROLLED TO A 6" RADIUS.
7. SHEET METAL SIGNAGE BAND. PAINT FINISH. RED.
8. EXISTING INTERNALLY ILLUMINATED POLE SIGN TO REMAIN UNLESS PYLON SIGN PER NOTE 13 IS APPROVED.
9. EXISTING INTERNALLY ILLUMINATED SIGNAGE BOX AT SOUTH PROPERTY LINE TO REMAIN.
10. GAS PUMP CANOPY COLUMNS. PAINT FINISH. GRAY.
11. FUEL DISPENSER NUMBER FLAG SIGN. 1/8" ALUMINUM PAINTED. VINYL DIE-CUT NUMERALS.
12. INTERNALLY ILLUMINATED CHANNEL LETTER TEXACO LOGOTYPE 30" HIGH. RED TRANSLUCENT POLYCARBONATE. RETURNS & RETAINERS ARE GLOSS BLACK METAL.
13. PYLON SIGN WITH 6'x6' PRIMARY IDENTIFIER. INTERNALLY ILLUMINATED. IF PYLON IS NOT APPROVED, EXISTING POLE SIGN AT PROPERTY NORTHWEST CORNER IS TO REMAIN. RE: 6/A2.1
14. INTERNALLY ILLUMINATED SERVICE MODULES. MAXIMUM OF 3.
15. INTERNALLY ILLUMINATED PRICE MODULE.
16. COLUMN DECALS FOR SERVICE & REGULATORY INFORMATION.
17. FUEL DISPENSER UNIT.
18. BOLLARD. 3' HIGH. TOP HALF PAINTED RED. BOTTOM HALF PAINTED LIGHT GRAY.
19. CLEARANCE TEXT. 4" HIGH VINYL DIE-CUT APPLIED TO RED ACCENT BAND.
20. EXIT DECAL 16.5" X 51" APPLIED TO SIGN BAND.
21. ENTRANCE DECAL 16.5" X 105" APPLIED TO SIGN BAND.
22. CLEARANCE BAR. 6" DIA X 6'-9".
23. CAR WASH INSTRUCTION SIGN PANEL MOUNTED TO WALL FACE. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS.
24. CAR WASH INSTRUCTION SIGN POST MOUNTED ADJACENT TO TOKEN BOX. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS. RE: 8/A2.1.
25. INTERNALLY ILLUMINATED CHANNEL LETTER. RED TRANSLUCENT POLYCARBONATE. RETURNS & RETAINERS ARE PAINTED SHEET METAL TO MATCH COLOR OF WALL.
26. POLE MOUNTED ACCESSIBLE PARKING SIGNS.
27. AIR AND WATER DISPENSER UNIT.
28. PAY TELEPHONE UNITS.
29. PUMP TOPPERS.
30. INTERCOM SPEAKER UNIT.
31. ALUMINUM OVERHEAD ENTRY BAND. BRUSHED ALUMINUM FINISH. WITH 3 15" DIA VINYL DECAL TO IDENTIFY AMENITIES AVAILABLE.
32. CAR WASH DIRECTIONAL SIGN POST MOUNTED. ALUMINUM SHEET METAL WITH SILK-SCREENED GRAPHICS TO INDICATE WHETHER CAR WASH IS OPEN OR CLOSED. RE: 8/A2.1
33. ALUMINUM STOREFRONT W/ CLEAR GLAZING. STOREFRONT PAINTED RED.
34. PREFINISHED METAL AWNING COLOR TO MATCH BRUSHED ALUMINUM.
35. CONCRETE MASONRY UNIT WITH 'ROCKFACE' TEXTURE.
36. WALL-MOUNTED LIGHT FIXTURE.
37. SHEET METAL DOWNSPOUT & CONDUCTOR HEAD. PAINT FINISH. COLOR TO MATCH BRICK.
38. PREFINISHED METAL CAP FLASHING AT PARAPET. COLOR RED.
39. WALL BEYOND.
40. CAR WASH TOKEN BOX & CONTROL KEYPAD UNIT. POST-MOUNTED.
41. WALL-MOUNTED EMERGENCY PUMP SHUT-OFF SIGN & BUTTON.
42. ACCENT BAND. CONCRETE MASONRY UNIT W/ 'ROCKFACE' TEXTURE.



2233 AVENUE J. SUITE 105
ARLINGTON, TEXAS 76006
METRO 817.640.8540 FAX 817.640.8550
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This document was made with information researched by our office. It is not intended to be a complete or final drawing. It does not include a scale, north arrow, or other types of information. It is understood that ultimate responsibility for the design and construction of the project lies with the architect or engineer. No liability or warranties are given or implied as to the information contained on this drawing.

FOR ZONING APPROVAL ONLY. NOT FOR PERMIT, BIDDING OR CONSTRUCTION.

PROJECT ADDRESS:
2360 Vailwood Pky
Farmers Branch, Texas

PROPERTY OWNER:
Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
972-503-3333

APPLICANT INFORMATION:
Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
Contact: Jim Woods
PHONE : (972) 503-3333
FAX : (972) 503-0007

BUDDY'S FOOD MART

REVISIONS:

▲ 8-28-2000
▲ 9-26-2000

CHECKED BY: RQ
DRAWN BY: TE/RQ DATE: 7-17-2000
EFFECT NO. SHEET NO.

Ordinance 2574
Exhibit 'A'

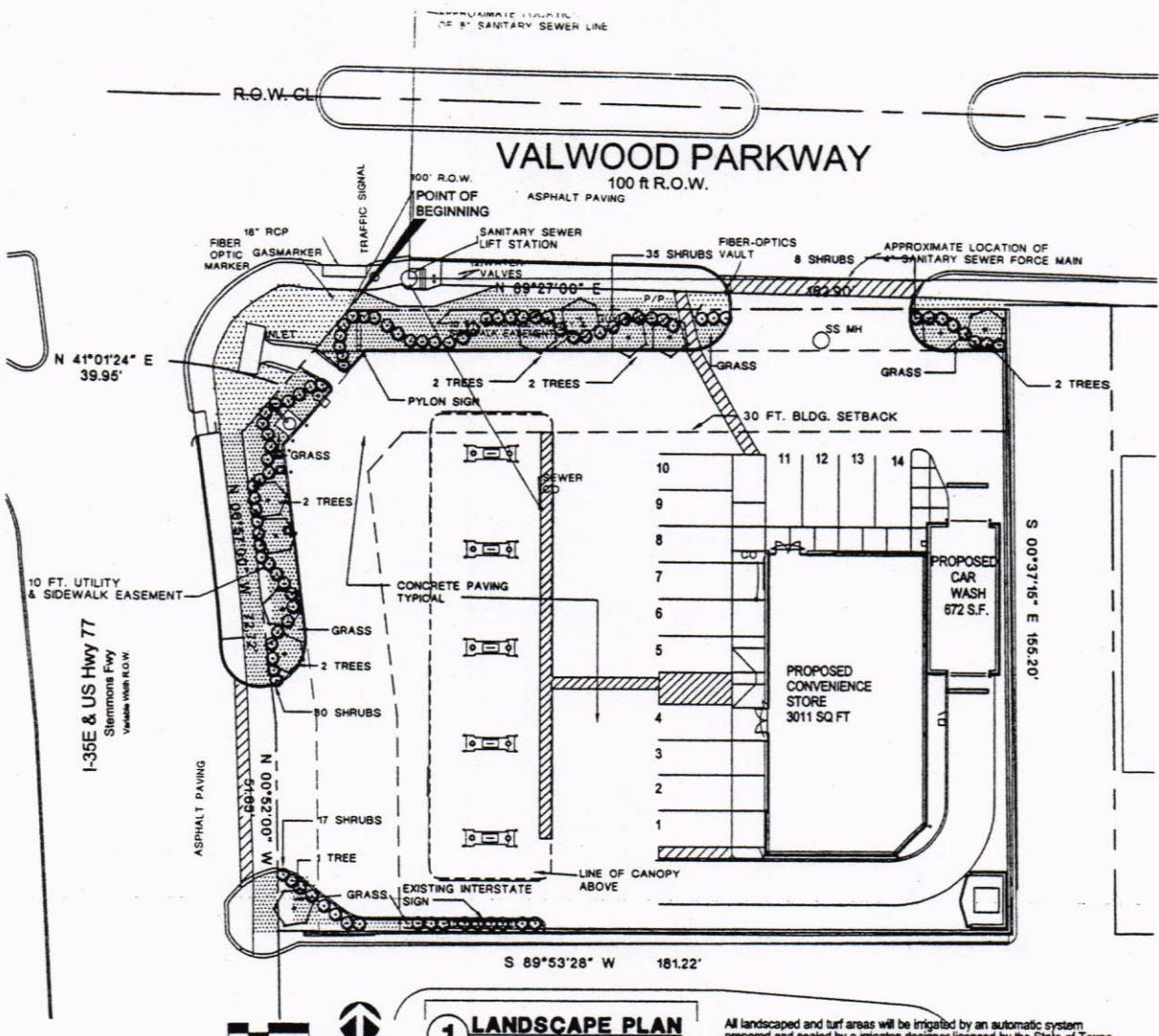
Sheet 18 of 25

Case No. 00-SU-17

2000-24

A-3

(BT)



1 LANDSCAPE PLAN 1"=20'-0"

All landscaped and turf areas will be irrigated by an automatic system prepared and sealed by a irrigation designer licensed by the State of Texas

Project Data

Address:	2380 Valwood Pky., Farmers Branch, Texas	
Legal Description:	Lot 1 - Block 1 , Dalltex Addition	
Zoning:	OFB-FW	
Residential Proximity :	None	
Land Area:	26,172 S.F. (0.6467 acres)	
Floor Area:	3,683 S.F.	
Lot Coverage:	13.03 %	
Floor Area Ratio (FAR):	1303.1	
Parking Total:	Required for Gasoline Service Station and Car Wash: 9 (1/400 SF)	
Setbacks :	Provided	
Front Yard :	Required	Provided
Side Yard :	30 FT	30 FT
Rear Yard :	0 FT	0 FT
Bldg. Ht. :	Allowed	Provided
	40 FT	33 FT
Exterior Bldg Appearance:	No less than 75% of all exterior walls, exclusive of windows and doors shall be masonry cladding per City Ord. No. 2111.	

LANDSCAPE DATA:

Front Yard :	Required	Provided
	5% (1409 SF)	7% (2200 SF)
All landscape areas shall be provided with an automatic irrigation system the design of which shall be subject to City Staff approval prior to the issuance of building permits .		
Trees :	Required	Provided
1 : 30 LF of Street Frontage	327 LF requires 11 Trees	11 Trees
Parking Screening :	Required	Provided
Screening Shrubs at 3'-0" on-center	Yes	Yes

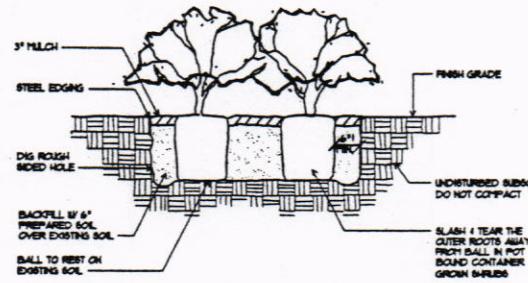
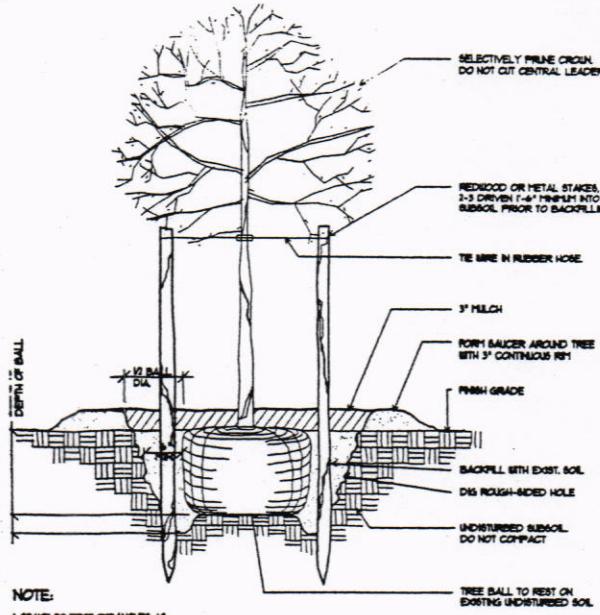
All surface parking lots fronting on any street shall maintain a minimum front yard setback of 10 feet, used exclusively as open landscaped space .

PLANT MATERIAL LIST

PLAN DESIGNATION	QUANTITY	DESCRIPTION	SIZE
TREES			
	11	ULMUS CRASSIFOLIA CEDAR ELM	12' HT. & 6' Spread 3" Caliper Minimum measured 6" above ground level at time of planting
SHRUBS			
	90	ILEX CORNUTA "BURFORDII NANA" DWARF BURFORD HOLLY	5 GAL., MIN. 36" HT. Installed 36" on-center
GROUNDCOVER			
	1485	TURF GRASS- COMMON BERMUDA CYDONON DACTYLON	FULL SOIL

NOTE: QUANTITIES LISTED ABOVE ARE MINIMUM NUMBERS. ACTUAL QUANTITY INSTALLED IS TO MATCH ON-CENTER SPACING INDICATED ON THE SCHEDULE ABOVE.
ALL PLANTER BEDS ARE TO BE COMPLETELY SEPARATED FROM GRASS AREAS WITH STEEL EDG

Ordinance 2574 Exhibit 'A'



TREE PLANTING - STAKING DETAIL

CONTAINER SHRUB PLANTING DETAIL

LANDSCAPE SPECIFICATIONS

Landscape Contractor shall visit the site to become familiar with site conditions prior to submitting bid.

All work shall be laid out by the Landscape Contractor for Owner/Owner representative approval prior to start.

All material shall be subject to Owner/Owner Representative approval.

Provide daily cleanup and maintenance through completion of project.

Take all necessary precautions to protect any existing building(s) or landscaping to remain and be responsible for any damage caused by Landscape Contractor's operations.

It is the Landscape Contractor's responsibility to prevent plants from falling or being blown over and to straighten and replace plants damaged due to a lack of guying or staking. If unstaked, plants blown over by high winds shall not be a cause of additional expense to the Owner, but shall be the full responsibility of the Landscape Contractor to correct.

Guarantee, in writing, all material and labor for twelve (12) months after final acceptance of the project to replace material which is either dead or not in healthy condition. Water all plant material thoroughly upon completion of project.

Landscape Contractor shall not be responsible at any time to replace or honor any warranty for the loss of any trees, plants, ground covers, or sod caused by fires, floods, freezing temperatures, lightning, winds above 50 miles per hour, or any other natural disaster. The Landscape Contractor shall not be held responsible for the acts of vandalism or negligence on the part of the Owner.

- 9 Unless otherwise specified in these plans, the Landscape Contractor shall be responsible only for fine grading of the planting and soiled, seeded, or hydromulched areas. Fine grading shall consist of the final .10 foot of grade achieved.
- 10 Topsoil material, when called for on plans, shall be free from hard clods, stiff clay, hard pan, stones larger than 1" in diameter, noxious weeds and plants, soil partially disintegrated debris, insects or any other undesirable material, plants, or seeds that would be toxic or harmful to growth.
- 11 The Landscape Contractor is advised of the possible existence of underground utilities on the site. Their exact location shall be verified in the field with the Owner/Owner Representative, or utility agency prior to the commencement of any digging operations. In the event any are uncovered, the Landscape Contractor shall promptly notify all interested parties. The Landscape Contractor shall be held responsible for all damages to utilities and such damage shall not result in an additional expense to the Owner. Any damage to unreported lines shall not be the responsibility of the Landscape Contractor.
- 12 Provide guaranteed unit prices for all work. Prices shall be for items installed and plant materials planted in-place.
- 13 Landscape Contractor is responsible for verification of plant material quantities. In the event of variation between quantities shown on the plant list and the plants, the plants shall control, improper plant counts made by the Landscape Contractor shall be no cause for additional costs to the Owner. Grass quantity take offs are the responsibility of the Landscape Contractor.
- 14 All plants shall conform with the latest edition of the American Association of Nurseryman Standards.
- 15 Comply with the container size as well as height and spread specifications for plant materials.
- 16 Landscape Contractor is responsible for coordination with the Irrigation Contractor. Irrigation is to be provided by an automatic irrigation system. Do not begin installation of plant materials until irrigation system is operational.
- 17 All new plant material shall be irrigated by an automatic irrigation system. Automatic irrigation system shall be designed and installed by a licensed irrigation designer and installed per City requirements. Install new irrigation zone to existing system on site as designed by Owner's Irrigation Contractor. Verify location of nearest zone which can be tapped to provide water for automatic irrigation system.

SOIL PREPARATION SPECIFICATIONS

Shrubs, Ground Cover and Annual Beds: Excavate 4", add 5" organic matter, with 10x5x5 fertilizer or equivalent 4 lbs. per 100 sq. ft. rototill to 8" depth. Cover all beds with 3" of shredded hardwood mulch after plants are in place. Organic matter to consist of 1 part washed sand, 1 part sandy loam, and 2 parts peat.

Trees: Excavate 2.0 times greater than ball diameter and 6" deeper. Place 4" perforated water monitor pipe at edge of the ball (optional), backfill with 2/3 existing soil and 1/3 organic matter. Provide a 3" watering saucer around the tree, stake and guy with tree if necessary. (See Detail). Add agriflorm tablets at 1 per caliper inch and a minimum of 2 per tree. water trees with a solution of "Rapid Gro" as per manufacturer's recommendations.

This document was drawn on information researched by our office or provided by the client. It is not a survey or a map. It does not indicate boundary, roadway, utility or other types of information of an urban or rural nature. It does not contain site data which may be required to meet zoning, environmental, engineering or similar codes or to the information contained on this drawing.

FOR ZONING APPROVAL ONLY. NOT FOR PERMIT,
BIDDING OR CONSTRUCTION.

PROJECT ADDRESS:

2360 Valwood Pky
Farmers Branch, Texas

PROPERTY OWNER:

Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
972-503-3333

APPLICANT INFORMATION:

Triple A Oil Co., Inc.
12342 Inwood Road
Dallas, Texas 75244
Contact: Jim Woodson
PHONE : (972) 503-3333
FAX : (972) 503-0007

BUDDY'S FOOD MART

R E V I S I O N S :

- ▲ 8-26-2000
- ▲ 9-25-2000

CHEKED BY: RQ
DRAWN BY: TE/RQ DATE: 7-17-2000
PROJECT NO. SHEET NO.

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Exhibit 'A'

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Case No. 00-SU-17

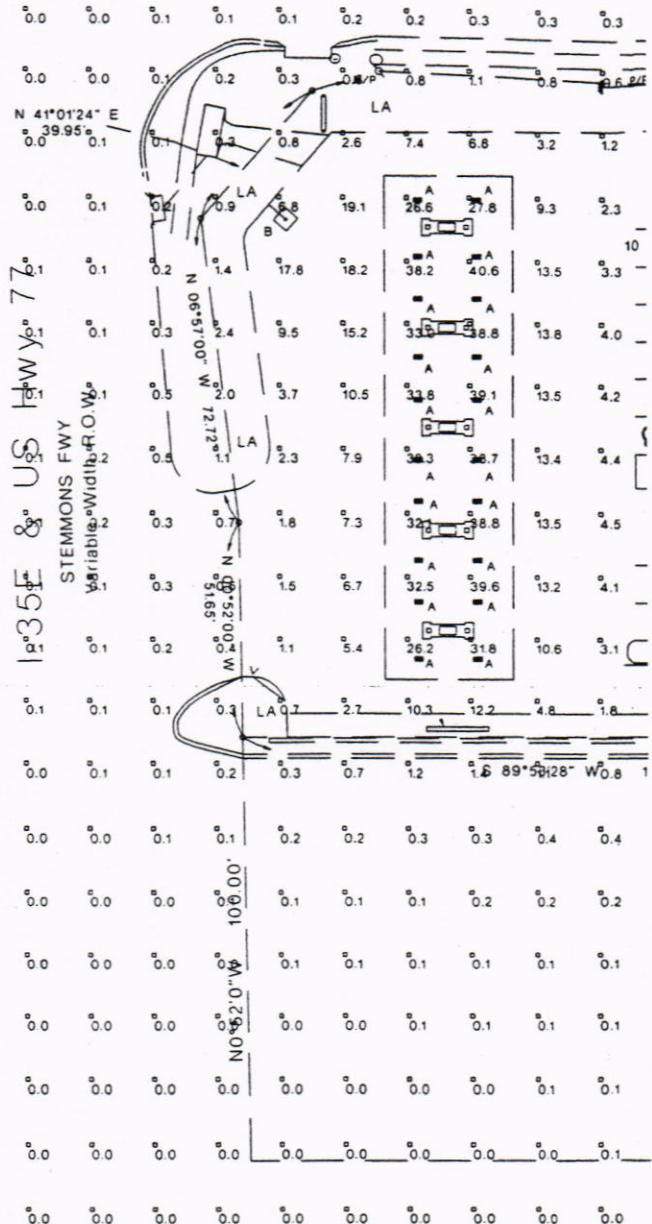
2000-24

L-1

(3V)

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

VALWOOD F



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Exhibit 'A'

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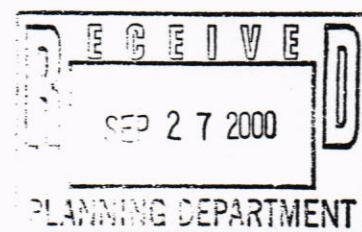
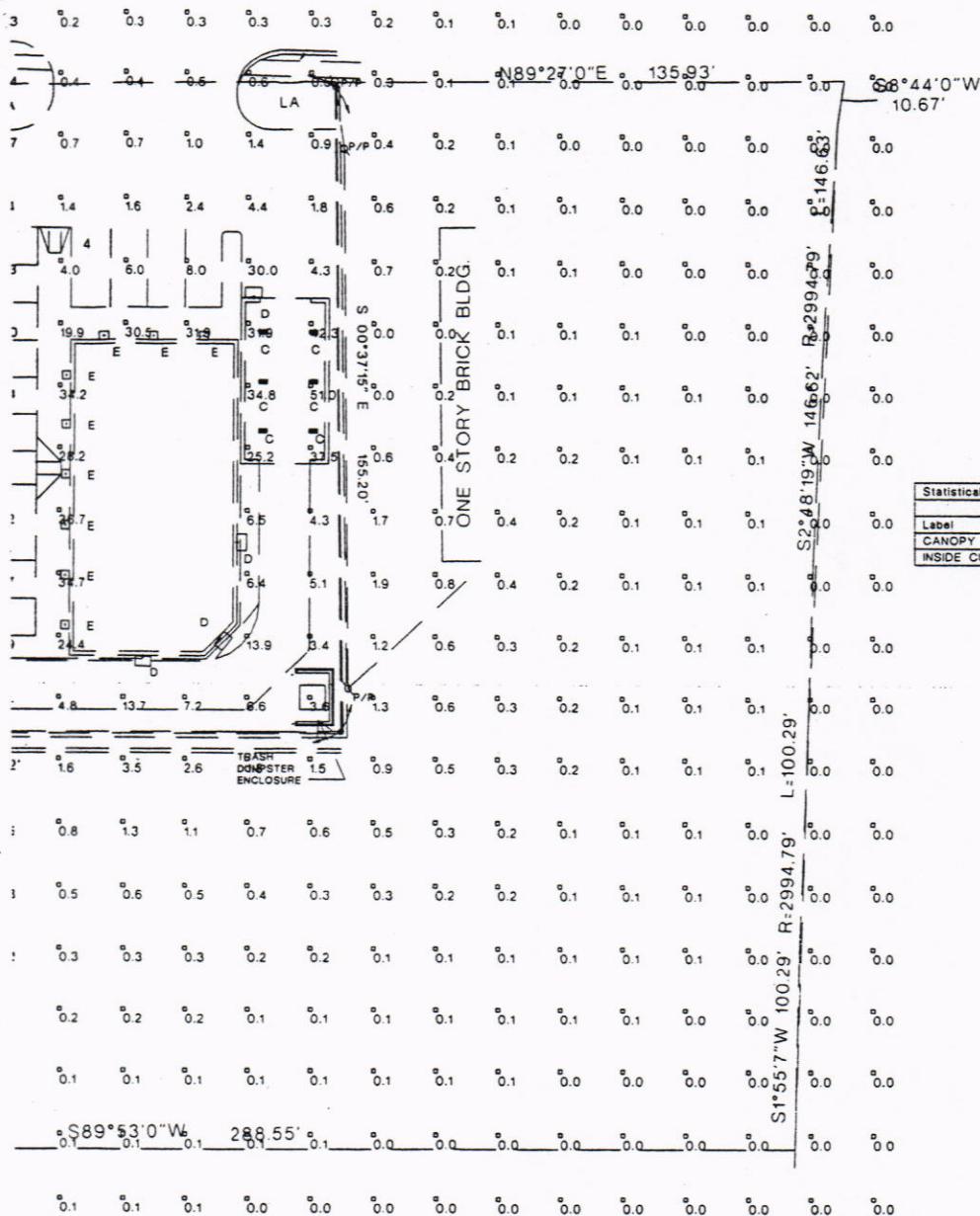
Luminaire Schedule	
Symbol	Qty
■	20
■	6
■	4
■	9

All lighting under pur
All site lighting prop

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps, and other variable field conditions.

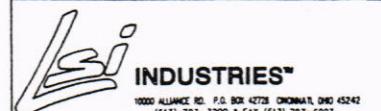
3W

ARKWAY



2	9-7-00	BDB
1	8-30-00	BDB
Rev.	Date	By

Revisions



LIGHTING PROPOSAL FOR
BUDDY'S TEXACO
FARMERS BRANCH, TX

SCALE: 1" = 30'-0"	LO-4196B-4
DATE: 6-7-00	
BY: BDB	SH

canopy will be recessed or shielded.
d will use metal halide lamps.

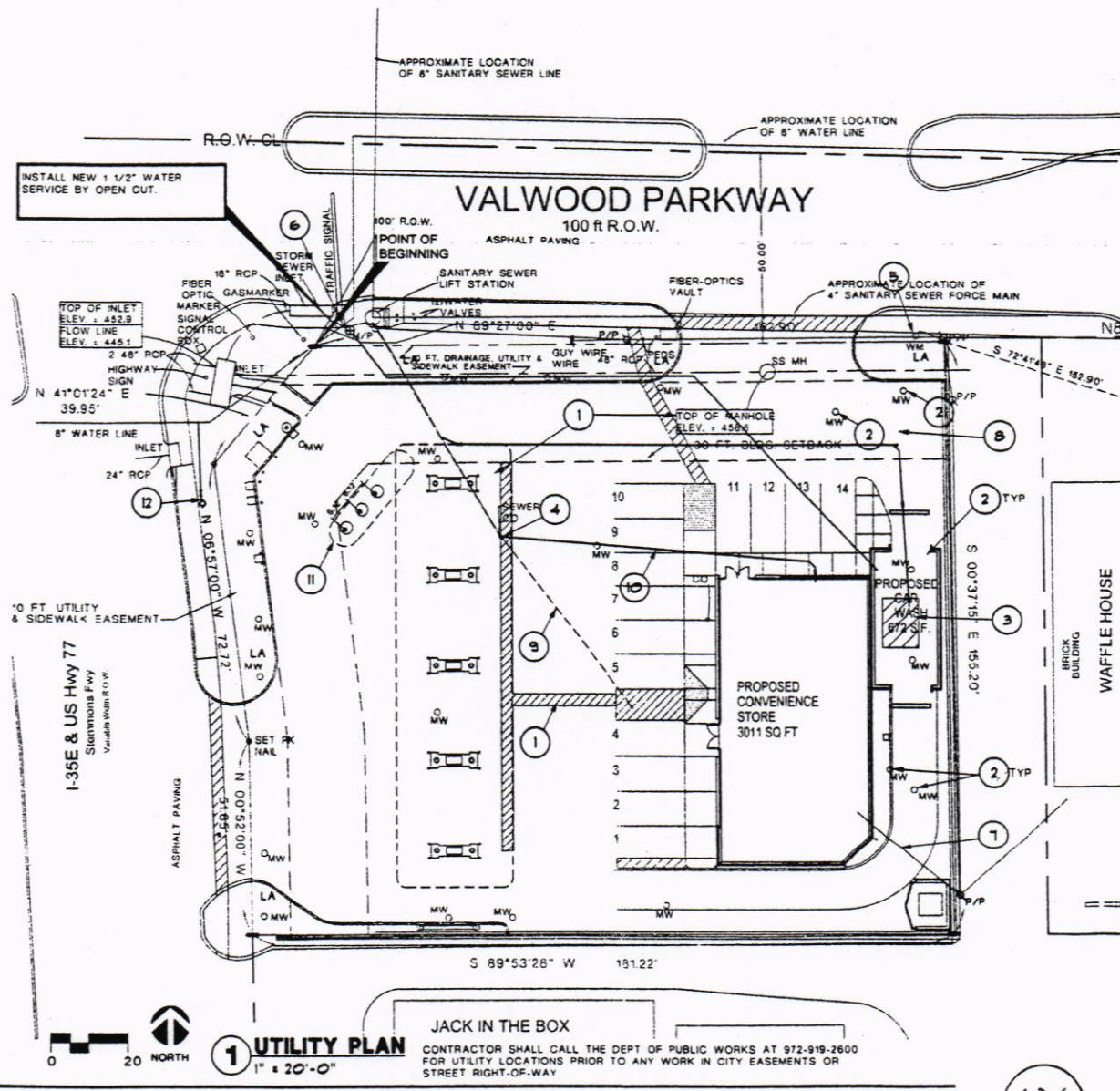
Ordinance 2574
Exhibit 'A'

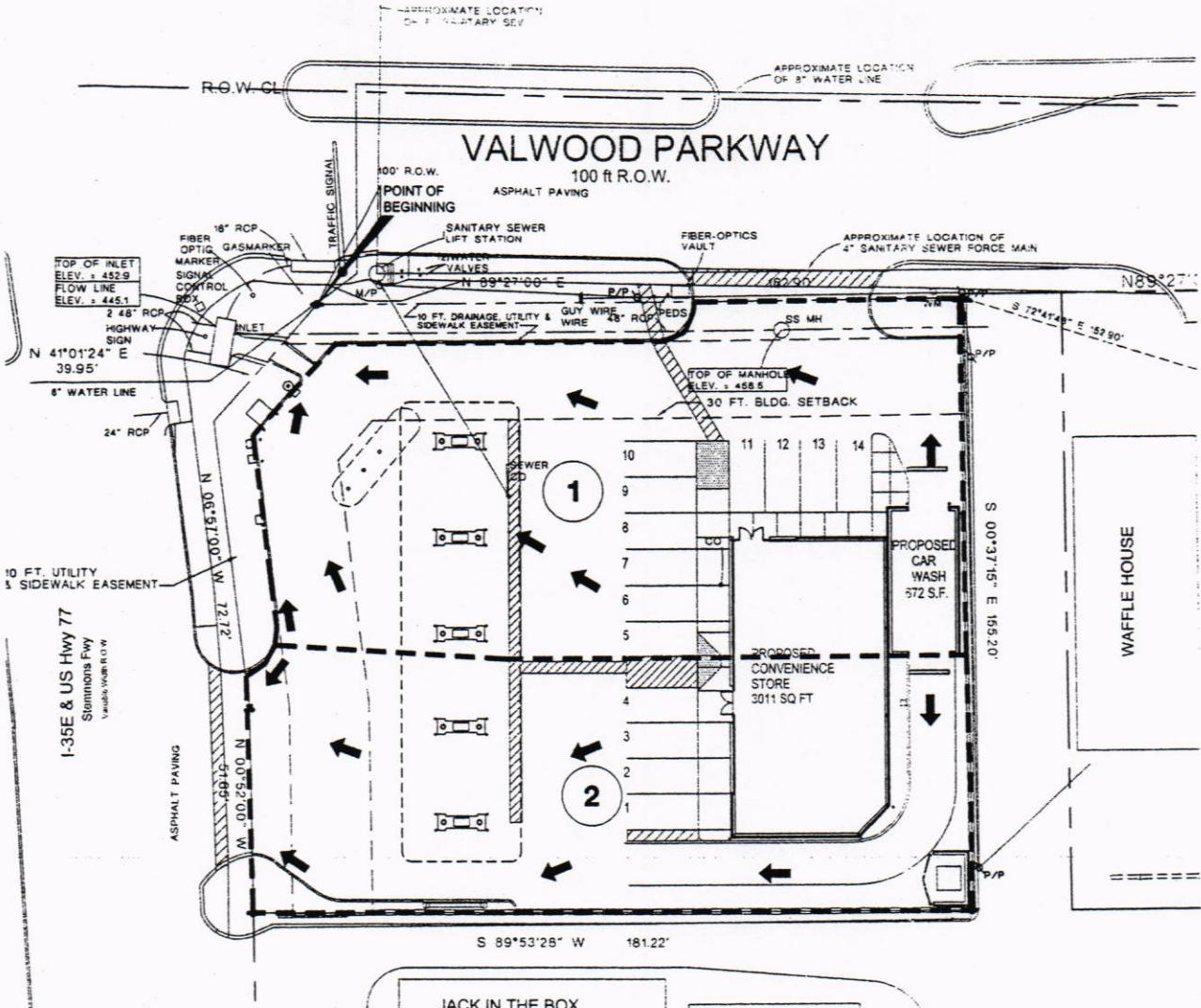
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Ordinance 2574

Exhibit 'A'

Sheet 23 of 25



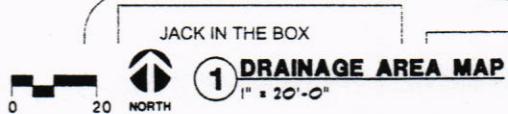


NOTES BY REFERENCE:

1. ACCESSIBLE ROUTE
2. EXISTING MONITOR WELL TO REMAIN.
3. NEW SAND TRAP, 1150 GAL., PROVIDED BY CARWASH EQUIPMENT VENDOR.
4. EXISTING SAN. SEWER CLEAN-OUT TO REMAIN. FIELD VERIFY F.L.
5. EXISTING WATER SERVICE TO REMAIN. TO SERVE CONVENIENCE STORE & IRRIGATION SYSTEM.
6. NEW 1 1/2" WATER SERVICE TO SERVE CAR WASH.
7. NEW OVERHEAD ELEC & TELEPHONE UTILITY TO CONV. STORE.
8. NEW 4" SAN. LATERAL AND CLEANOUT AT CONNECTION TO EXISTING SAN SEWER & 4" SAN. LATERAL TO SANDTRAP AT CARWASH. INSTALL 2-WAY C.O. WITHIN 20 FT OF CARWASH AND SOFT ON-CENTER MAXIMUM.
9. REMOVE EXISTING SANITARY SEWER SERVICE TO BLDG SHOWN AS DEMOLISHED.
10. NEW 4" SAN. LATERAL AT CLEANOUT 4" SAN. LATERAL TO CONV. STORE AND TWO WAY CLEANOUT AT BLDG. FIELD VERIFY F.L.
11. EXISTING UNDERGROUND FUEL TANK TO REMAIN.
12. NEW 20 FT 8" WATER LINE. FIRE HYDRANT AND VALVES

GENERAL NOTES

1. REFER TO COVER SHEET FOR ACCESSIBILITY NOTES & PROJECT GENERAL NOTES.
2. LA + LANDSCAPE AREA REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE & IRRIGATION.
3. DIMENSIONS ARE TO FACE OF CURB OR EDGE OF FOUNDATION OF BLDG.
4. UTILITIES, GRATE INLETS, MANHOLES, & STORM SEWER INLETS ARE EXISTING UNLESS DESIGNATED AS NEW.



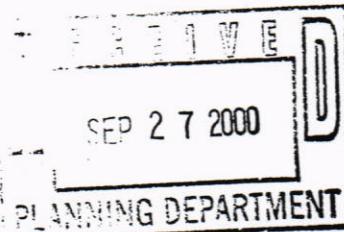
DRAINAGE AREA CALCULATIONS

RATIONAL METHOD - $Q_{\text{req}} = C \times I_{\text{req}} \times A$

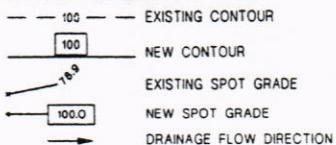
WHERE:
 Q_{req} = 100 YEAR RUNOFF IN C.F.S.
 C = RUNOFF COEFFICIENT
 I_{req} = 100 YEAR INTENSITY IN IN./HR.
 A = AREA IN ACRES

DA NO	C	I _{req}	A	Q _{req}
1	0.9	8.74	0.34	2.67
2	0.9	8.74	0.27	2.12

CONTRACTOR SHALL CALL THE DEPT OF PUBLIC WORKS AT 972-919-2500 FOR UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR STREET RIGHT-OF-WAY



GRADING LEGEND



BENCHMARK = TOP OF MANHOLE
 ELEVATION = 458.50' LOCATED AT NORTHEAST DRIVEWAY APPROACH

Ordinance 2574 Exhibit 'A'

Sheet 24 of 25

Case No. 00-SU-17

Scdled: As Noted	Date: 7-17-00
Designed By: KM	
Drawn By: TE / RQ	
Coordinate File:	
CAD File:	
Project No.:	

SHEET

32

MORRISON AND ASSOCIATES
 CONSULTING CIVIL ENGINEERS & SURVEYORS
 9403 APPLEGATE WAY
 IRVING, TX 75063 (972) 831

UTILITY PLAN **DRAINAGE AREA MAP** 2360 VALWOOD PKY.
 FARMERS BRANCH, TEXAS

TRIPLE A OIL CO., INC.

12342 INWOOD RD.

DALLAS, TEXAS 75244

(972) 803-3333

October 2, 2000

Ms. Tina Pflughoefl
City of Farmers Branch
13000 Wm. Dodson Pkwy.
Farmers Branch, Texas 75234

Re: 2360 Valwood Parkway
Farmers Branch, Texas

Dear Ms. Pflughoefl:

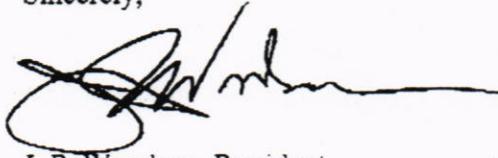
This letter is written to outline our Proposed Plan of Operation for the above referenced location.

Proposed Plan of Operation

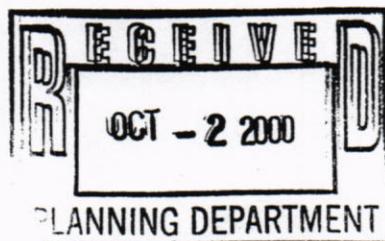
1. The retail sale of motor fuel for use in automobiles, trucks and other internal combustion engines.
2. The sale of self-service automatic car washes.
3. The retail sale of services, merchandise, sundries, beverages, groceries, food products, tobacco products, health and beauty products, and automotive fluids and accessories generally found in and offered for sale in similar upscale convenience stores.
4. The hours of operation are proposed to be twenty-four hours per day, seven days per week, three hundred and sixty-five days per year unless actual market conditions dictate the hours of operation should be less than the proposed.
5. Two employees are proposed to be on duty for most of the business day. However, market conditions and the timing of shift changes may result in as few as one employee on duty or as many as four employees on duty at times during the business day.

If I can be of further assistance, do not hesitate to contact me.

Sincerely,



J. P. Woodson, President
Triple A Oil Co., Inc.



Ordinance 2574
Exhibit 'A'

Sheet 25 of 25



A circular stamp containing the letters "3AA" in the center.